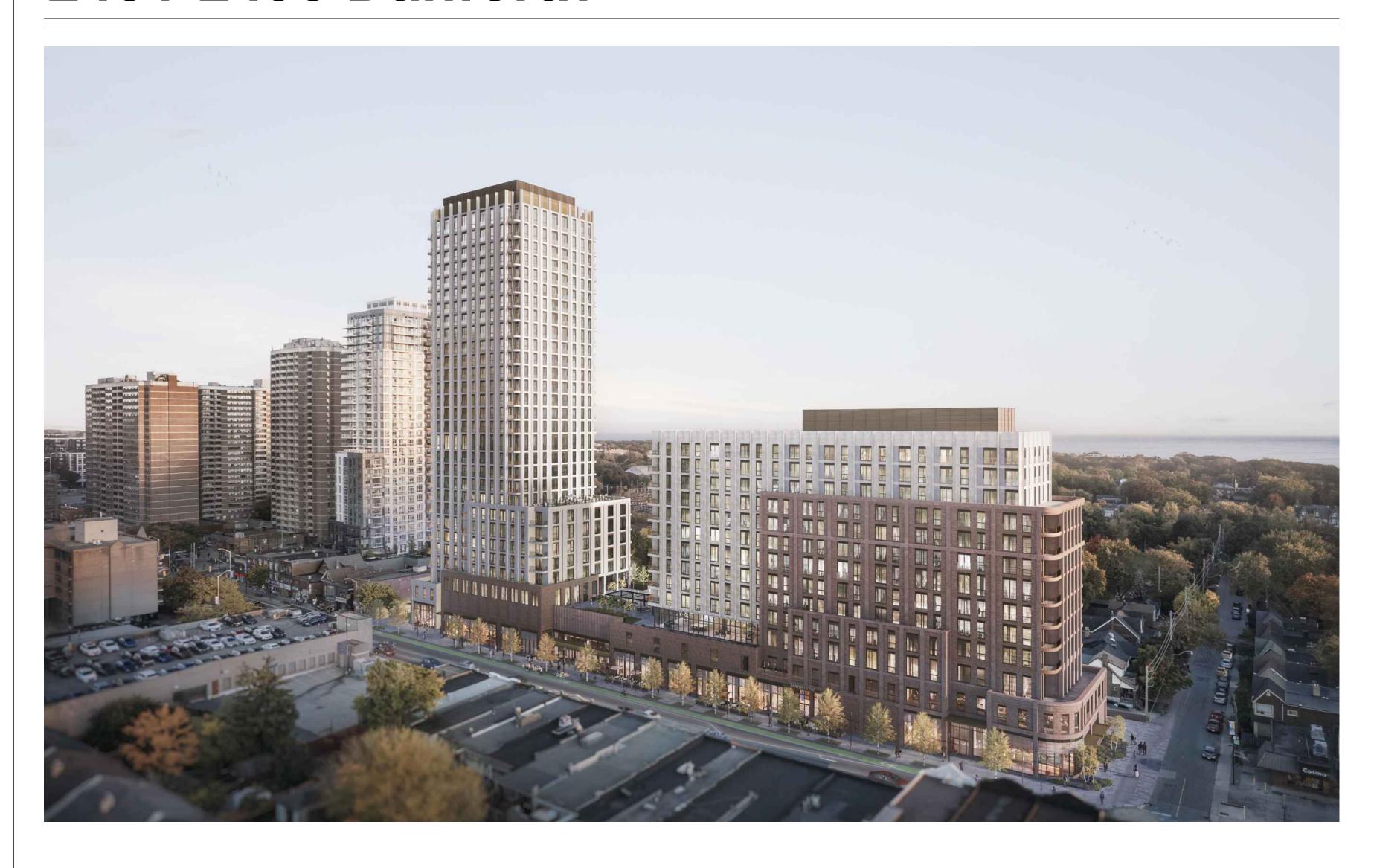
2451-2495 Danforth



CLIENT

PROJECT ADDRESS

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3 CHURCH ST, SUITE 200

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DRAWING NUMBER	DRAWING TITLE
A.000	COVER SHEET
A.001	PROJECT STATISTICS
A.002	PERSPECTIVE VIEWS
A.003	GFA DIAGRAMS PER ZBL 569-2013
A.004	GFA DIAGRAMS PER ZBL 569-2013
A.005	GFA DIAGRAMS PER ZBL 569-2013
A.006	SETBACK DIAGRAM
A.100	SITE PLAN
A.101	FLOOR PLAN - P2
A.102	FLOOR PLAN - P1
A.103	FLOOR PLAN - GROUND FLOOR
A.104	FLOOR PLAN - LEVEL 02
A.105	FLOOR PLAN - LEVEL 03
A.106	FLOOR PLAN - LEVEL 04
A.107	FLOOR PLAN - LEVEL 05-08
A.108	FLOOR PLAN - LEVEL 09-10
A.109	FLOOR PLAN - LEVEL 11-13
A.110	FLOOR PLAN - LEVEL 14-29
A.111	ROOF PLAN
A.201	NORTH ELEVATION
A.202	EAST & WEST ELEVATIONS
A.203	SOUTH ELEVATION
A.204	ELEVATION STUDIES
A.301	BUILDING SECTION
A.302	BUILDING SECTION

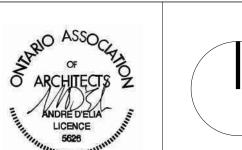
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dimensions, datums, and levels with the Contract Documents and with the conditions on site; ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for

f> 416.533.6986

SEP 10, 2025

Re-Issued for OPA and ZBA Issued for OPA and ZBA



2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

COVER SHEET

Project No. 2216 Drawing No.

A.000

ISSUED FOR OPA AND ZBA - SEPTEMBER 10, 2025

Statistics Template – Toronto Green Standard Version 4.0

1x TYPE 'A' LOADING SPACE 1x TYPE 'B' LOADING SPACE 1x TYPE 'C' LOADING SPACES 1x TYPE 'G' LOADING SPACE 4x PUDO PARKING SPACES

*REFER TO FLOOR PLANS FOR LOCATIONS

City Agency, Corporation & Division-Owned Facilities

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit <u>www.toronto.ca/greendevelopment</u>

General Project Description		Proposed
Total Gross Floor Area	42493.2 m²	457393.4 ft²
Breakdown of project components (m²):		
Retail GROCERY GFA:	2276.8 m²	24507.3 ft²
Commercial TOTAL RETAIL GFA:	943.1 m²	10152.0 ft² (EXCLUDING GROCERY)
Industrial		
Institutional/Other		
Total number of residential units	620	

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	8	254	>100%
Number of EV Parking Spaces (Residential)	177	177	100%
Number of EV Parking Spaces (Non - Residential)	20	20	100%
Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	565	567	>100%
Number of long-term bicycle parking located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground		567	100%
d) second level below-ground			
e) other levels below-ground			
Number of short-term bicycle parking spaces	147	147	100%
Number of shower and change facilities	2	2	



Statistics Template – Toronto Green Standard Version 4.0 City Agency, Corporation & Division-Owned Facilities

toronto at your service Page 1 of 3

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area ÷ 66 m² x 30 m³)	1387 m3	1387 m3	100%
Soil volume provided within the site area (m³)		869.4 m3	
Soil Volume provided within the public boulevard (m³)		517.6 m3	

GREEN ROOF STATISTICS		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)		41904.6 m ²
Total Roof Area (m²)		613.7 m ² 4231.2 m ²
Area of Residential Private Terraces (m²) Rooftop Outdoor Amenity Space, if in a Residential Buildin	g (m²)	1098.6 m²
Area of Renewable Energy Devices (m²) Tower (s)Roof Area with floor plate less than 750 m²		0 m² N/A
Total Available Roof Space (m²)		2518.9 m²
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m²) Coverage of Available Roof Space (%)	1511.34 m² 60 %	1530.7 m² 60 %

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GREEN ROOF - An extension of an above grade roof, built on top of a human-made structure, that allows vegetation to grow in a growing medium and which is designed, constructed and maintained in accordance with the Toronto Green Roof Construction Standard.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

PRIVATE TERRACE - Outdoor amenity area on a roof that is available exclusively for use by the occupants of an abutting residential unit for recreational or social activities.

GCA AND	GFA BREAKE	OWN					PROJECT STATIST	TICS SUMMAR	Y		
		NSTRUCTION REA	ZBL 569			W 569-2013 GROSS	NUMBER OF FLOORS: 13/	29 FSI (GFA/LOT A	AREA):	5.62	
BELOW GRADE	A	NEA .	EXCLUS	SIONS	FLOOP	R AREA	GROSS CONSTRUCTION AF	REA (GCA) ABOVE GI	RADE:	46594.9 m²	501543.3 ft²
					054	054 (TOTAL GROSS FLOOR ARE	A (GFA):		42493.2 m²	457393.4 ft²
Level	GCA, m2	GCA, sf	GFA Exclusion, m2	,	· · · · · · · · · · · · · · · · · · ·	GFA, sf		*as definied in ZBL			707000.776
P2	6202.9 m ²	66768.0 ft ²	5803.6 m ²	62469.7 ft ²	399.3 m ²	4298.3 ft ²	RESIDENTIAL GFA	:	;	39273.3 m²	422734.2 ft²
P1	6161.4 m ²	66321.2 ft ²	5946.2 m ²	64004.7 ft ²	215.2 m ²	2316.5 ft ²	RETAIL GFA:			943.1 m²	10152.0 ft²
Grand total	12364.4 m ²	133089.2 ft²	11749.9 m²	126474.5 ft ²	614.5 m ²	6614.7 ft ²	GROCERY STORE	GFA:	:	2276.8 m²	24507.3 ft²
ABOVE GRADE							POPS AREA:			353.9 m²	3809.4 ft²
Level	GCA, m2	GCA, sf	GFA Exclusion, m2	GFA Exclusion, sf	GFA, m2	GFA, sf				7.7042	
Ground Floor	3987.6 m ²	42922.7 ft ²	478.1 m²	5146.2 ft ²	3509.5 m ²	37776.5 ft ²	LOT AREA:		,	7,724 m²	
_evel02	1479.1 m²	15920.5 ft ²	122.0 m ²	1313.0 ft²	1357.1 m ²	14607.6 ft ²	CONVEYANCES AREA:		:	168m²	
_evel03	2700.9 m²	29071.8 ft ²	1540.4 m²	16580.4 ft²	1160.5 m²	12491.4 ft²	ADJUSTED LOT AREA:		7	7,556m²	
_evel04	2701.8 m ²	29082.4 ft ²	102.5 m ²	1102.8 ft²	2599.4 m²	27979.6 ft ²	NUMBER OF RESIDENTIAL	UNITS:	(520	
_evel05	2650.2 m ²	28526.4 ft ²	102.5 m ²	1102.8 ft ²	2547.7 m ²	27423.6 ft ²	NUMBER OF AFFORDABLE	IINITS:	*	Affordable Units Note:To	be provided in accordance
_evel06	2650.2 m ²	28526.4 ft ²	102.5 m ²	1102.8 ft²	2547.7 m ²	27423.6 ft ²	NOMBER OF AFT ORBABLE	OMTO.		vith statutory IZ requirem eviewed during the Site I	ents. Number of units to be Plan Approval process.
_evel07	2650.2 m²	28526.4 ft ²	102.5 m²	1102.8 ft²	2547.7 m ²	27423.6 ft ²					
_evel08	2650.2 m ²	28526.4 ft ²	102.5 m ²	1102.8 ft ²	2547.7 m ²	27423.6 ft ²					
_evel09	2266.2 m²	24393.3 ft ²	102.5 m ²	1102.8 ft²	2163.8 m ²	23290.5 ft ²	UNIT COUNT AND I	ИΙΧ			
_evel10	2266.2 m ²	24393.3 ft ²	102.5 m ²	1102.8 ft ²	2163.8 m ²	23290.5 ft ²					
_evel11	2056.7 m ²	22138.0 ft ²	104.4 m²	1123.3 ft ²	1952.3 m²	21014.7 ft ²	BUILDING A*: *SEE UNIT MIX DIAGRAM GR				
_evel12	2056.7 m ²	22138.0 ft ²	104.4 m²	1123.3 ft²	1952.3 m²	21014.7 ft ²	Lovel	Residential GFA, m2	Residential GFA, sf	Cour	
evel13	2056.7 m ²	22138.0 ft ²	104.4 m²	1123.3 ft²	1952.3 m²	21014.7 ft ²	Level	,		Coun	L
_evel14/MPH	1159.4 m²	12480.1 ft ²	349.4 m²	3760.7 ft ²	810.1 m ²	8719.4 ft ²	Level03	320.0 m ²	3444.8 ft ²	5	
14=	0500	0.450.0.60	10.4.2	504.0.63	0040	0004053	- Level04	992.5 m ²	10683.0 ft ²	16	

	1150 1 2 1010	∩ 1 f42	210 1 2	2760 7 ft 2	010 1 2	0710 / ft2	1			-
_evel14/MPH				3760.7 ft²	810.1 m ²	8719.4 ft²	Level04	992.5 m ²	10683.0 ft ²	16
evel15	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft²	Level05	992.5 m²	10683.0 ft ²	16
_evel16	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft²	Level06	992.5 m²	10683.0 ft ²	16
_evel17	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft²	Level07	992.5 m²	10683.0 ft ²	16
Level18	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft²	Level08	992.5 m²	10683.0 ft ²	16
Level19	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft²	Level09	719.1 m²	7740.2 ft ²	14
_evel20	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft ²	Level10	719.1 m²	7740.2 ft ²	14
_evel21	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft ²	Level11	719.1 m ²	7740.2 ft ²	14
_evel22	850.6 m ² 9156		49.4 m ²	531.2 ft²	801.3 m ²	8624.8 ft ²	Level12	719.1 m ²	7740.2 ft ²	14
_evel23	850.6 m ² 9156	6.0 ft ²	49.4 m ²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level13	719.1 m ²	7740.2 ft ²	14
_evel24	850.6 m ² 9156		49.4 m²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level14/MPH	719.1 m ²	7740.2 ft ²	14
_evel25	850.6 m ² 9156	6.0 ft ²	49.4 m²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level15	719.1 m ²	7740.2 ft ²	14
_evel26	850.6 m ² 9156	6.0 ft ²	49.4 m²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level16	719.1 m ²	7740.2 ft ²	14
_evel27	850.6 m ² 9156	6.0 ft ²	49.4 m²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level17	719.1 m ²	7740.2 ft ²	14
_evel28	850.6 m ² 9156	6.0 ft ²	49.4 m ²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level18	719.1 m ²	7740.2 ft ²	14
_evel29	850.6 m ² 9156	6.0 ft ²	49.4 m ²	531.2 ft ²	801.3 m ²	8624.8 ft ²	Level19	719.1 m ²	7740.2 ft ²	14
MPH	503.5 m ² 5419	9.6 ft²	455.9 m ²	4907.0 ft ²	47.6 m²	512.6 ft ²	Level20	719.1 m ²	7740.2 ft ²	14
Grand total	46594.9 m ² 5015	543.3 ft ²	4716.2 m²	50764.7 ft ²	41878.7 m ²	450778.7 ft ²	Level21	719.1 m ²	7740.2 ft ²	14
TOTALS	'						Level22	719.1 m ²	7740.2 ft ²	14
	GCA, m2 GC	CA sf	GFA Exclusion, m2	GFA Exclusion sf	GFA, m2	GFA, sf				
ABOVE AND BELOW TOTAL	58959.3 m ² 6346	· ·	·	177239.2 ft²	42493.2 m ²	457393.4 ft ²	Level23	719.1 m ²	7740.2 ft ²	14
	00000.0111	002.011	10 100.1 111	177200.210	12 100.2 111	107000.110	Level24	719.1 m ²	7740.2 ft ²	14
							Level25	719.1 m ²	7740.2 ft ²	14
							Level26	719.1 m ²	7740.2 ft²	14
							Level27	719.1 m ²	7740.2 ft ²	14
DEFINITIONS				CAR PARKING			Level28	719.1 m ²	7740.2 ft²	14
				CAR PARKING			Level29	719.1 m ²	7740.2 ft²	14
From the City of Taronto 7PL 560 201	3.			Vioit	or/Commercial Visitor/Co	ommercial Car-Share		20383.2 m ²	219403.1 ft ²	379
In the Residential Zone category, the general in the huilding used for:	3: i <mark>ross Floor Area</mark> of an apartment buildin	ing is reduced by	<i>y</i>		king Provided Parking					

DEFINITIONS					∣Levei∠ŏ		7 19.1 m	1140.2
DEFINITIONS	CAR PAR	KING			Level29		719.1 m²	7740.2
							20383.2 m²	219403
From the City of Toronto ZBL 569-2013: In the Residential Zone category, the <u>Gross Floor Area</u> of an apartment building is reduced by the area in the building used for:	Level	Visitor/Commercial Parking Provided	Visitor/Commercial Parking Required	Car-Share Provided				•
(A) parking, loading and bicycle parking below established grade;	P1	77	8	2	BUILDING A UNIT M	IX:		
(B) required loading spaces and required bicycle parking spaces at or above established grade; (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in			*required visitor parking = 2 + (0.01 per unit)		Name	Coun	t Unit Mix	Average <i>A</i>
the basement; (D) shower and change facilities and bicycle maintenance facilities required by this By-		Residential Parking	,		UNIT 1BD	201	53.0%	l6.8 m²
law for required bicycle parking spaces; [By-law: ś39-2022] (E) indoor amenity space required by this By-law;	Level	Provided	-		UNIT 2BD	95	25.1%	35.3 m ²
(F) elevator shafts; (G) garbage shafts;	P2	149 28	-		UNIT 3 BD	36	9.5%	91.5 m²
(H) mechanical penthouse; and (I) exit stairwells in the building.		177	J		UNIT STUDIO	47	12.4%	31.6 m ²
Floor Space Index Calculation		Total Parking Provided				379	2	235.2 m²
In the Residential Zone category, the floor space index: (A) for a non-residential building, is the result of the gross floor area of a building		254			BUILDING B*: *SEE UNIT!	MIX DIAGRAM HATCI	HED AREA	
divided by the area of the lot; (B) for a residential building, other than an apartment building, is the result of the gross							Residential	Reside
floor area, plus the area of an attic described in regulation 10.5.40.40(1) and subject to regulation 10.5.40.40(2) minus the areas listed in regulation 10.5.40.40(3), divided by the area of the lot; and					Level		GFA, m2	GFA,
and (C) for an apartment building, is the result of the gross floor area, minus the areas of an apartment building listed in regulation 10.5.40.40(4), divided by the area of the lot.					Level02		972.8 m²	10470.6
, , , , , , , , , , , , , , , , , , , ,					Level03		724.8 m²	7801.4
					1 			

for a non-residential building, is the result of the gross floor area of a building by the area of the lot; for a residential building, other than an apartment building, is the result of the gross as plus the area of an attic described in regulation 10.5 40.00(1) and subject to regulation	elevator snarts; garbage shafts; mechanical penthouse; and exit stainwells in the building. Space Index Calculation	P1		Parking vided		UNIT STUDIO	36 47 379	12.4%	91.5 m ² 31.6 m ² 235.2 m ²	984.7 ft ² 340.6 ft ² 2531.3 f
LOADING SPACE TO LOADIN	by the area of the lot; for a residential building, other than an apartment building, is the result of the gross ea, plus the area of an attic described in regulation 10.5.40.40(1) and subject to regulation .40(2) minus the areas listed in regulation 10.5.40.40(3), divided by the area of the lot; for an apartment building, is the result of the gross floor area, minus the areas of an					Level	Ş	Residential GFA, m2 972.8 m²	GFA, sf 10470.6 ft ²	
Level Name Indoor Amenity Required Level06 1252.1 m² 13477.7 ft² 23 Level07 Level08 1252.1 m² 13477.7 ft² 23 Level08 Level09 Level10 Level10 Level10 Level10 Level10 Level10 Level10 Level10 Level10 Level11 Level10 Level11 Level12 1045.4 m² 11252.9 ft² 18 Level09 Level10 Level11 Level12 Level12 Level12 Level13 Level14 Level15 Level15 Level15 Level16 Level06 Level07 Level08 Level07 Level08 Level09 Level09 Level09 Level09 Level09 Level09 Level09 Level10	LOADING PROVISIONS	AMEN	IITY							
Level Name Provided Name Level Name Level OUTDOOR 1300.4 m² 1240 m² 1240 m² 1240 m² 1252.1 m² 13477.7 ft² 23 1240 m² 1252.1 m² 13477.7 ft² 23 1252.1 m² 13477.7 ft²	: 'B' LOADING SPACE : 'C' LOADING SPACES : 'G' LOADING SPACE		-	Provided	Required	Level07	•	1252.1 m² 1252.1 m²	13477.7 ft ² 13477.7 ft ²	23 23
Level Name Provided Required Level03 OUTDOOR AMENITY 1300.4 m² 1240 m² Level12 1045.4 m² 11252.9 ft² 18 Level13 1045.4 m² 11252.9 ft² 18	FLOOR PLANS FOR LOCATIONS			*require	ed area (2sm per unit) = 1240m².	Level10	•	1252.1 m²	13477.7 ft²	23
AMENITY 2010 10 10 11 11 12 22 10 11				Provided	Required	Level12		1045.4 m²	11252.9 ft²	18
					1270 111	Levello				

	required area (2sm per unit) = 1240m². BIKE PARKING *EXCLUDES EXISTING BIKE SHARE PARKING ON SITE REQUIRED BIKE PARKING SPACES:				
	Land Use Units / GFA Short Term Long Term*				Spaces Required
	Residential	620 Units	0.2 per unit = 124	0.9 per unit = 558	682 Spaces
	Retail / Grocery	3219.9 m²	3 + 0.3 per 100 m ² = 13	0.2 per 100 m ² = 7	20 Spaces
	At Grade	N/A	10 Spaces		10 Spaces
AFFORDABLE HOUSING UNITS	Totals:		147 Spaces	565 Spaces	712 Spaces
Affordable Units Note:To be provided in accordance with statutory	WITH EV CHARGING AS F	IG-TERM RESIDENTIAL BICYCL PER TGS V4 AO 2.5 BIKE PARKING		OVIDED	
Z requirements. Number of units to be reviewed during the Site	Land Use	Short Term	Long Term**	Spaces Provide	ed
Plan Approval process.	Residential	124 Spaces	560 Spaces	684 Spaces	
Tan Approval process.	Retail / Grocery	13 Spaces	7 Spaces	20 Spaces	
	At Grade	10 Spaces		10 Spaces	
	Totals:	147 Spaces	567 Spaces	714 Spaces	
		NG LOCATIONS		RGING	

Leveriz		10 1 0.7 111	11232.311	10	
Level13		1045.4 m²	11252.9 ft ²	18	
		13645.3 m²	² 146876.3 ft ²	241	1
BUILDING B UNIT M	IX:				
Name	Count	Unit Mix	Average Area, r	m2	Average Area, sf
UNIT 1BD	111	46.1%	52.3 m ²		563.0 ft ²
UNIT 2BD	56	23.2%	64.7 m ²		696.6 ft ²
UNIT 3 BD	25	10.4%	95.2 m ²		1024.6 ft ²
UNIT 4 BD	1	0.4%	126.9 m²		1366.1 ft²
UNIT STUDIO	48	19.9%	35.6 m ²		383.3 ft ²
	241	,	374.7 m ²		4033.5 ft²
BUILDING A & B UN	IT MIX:				
Name	Count	Unit Mix	Average Area. r	m2	Average Area, sf

Count Unit Mix Average Area, m2 Average Area, sf

503.6 ft²

702.4 ft²

BUILDING A & B UNIT MIX:								
Name	Count	Unit Mix	Average Area, m2	Average Area, sf				
UNIT 1BD	312	50%	48.7 m ²	524.7 ft ²				
UNIT 2BD	151	24%	65.1 m ²	700.2 ft ²				
UNIT 3 BD	61	10%	93.0 m ²	1001.1 ft²				
UNIT 4 BD	1	0%	126.9 m²	1366.1 ft²				
UNIT STUDIO	95	15%	33.6 m²	362.2 ft ²				
	620		367.4 m²	3954.2 ft ²				

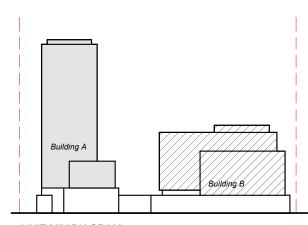
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Toronto, ON M6R 2J5 t> 416.596.0700

f> 416.533.6986

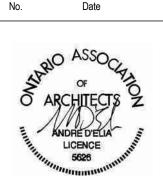
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UNIT MIX DIAGRAM

SEP 10, 2025 OCT 28, 2024

Re-Issued for OPA and ZBA Issued for OPA and ZBA Issue/Revision



2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

Drawing No.

PROJECT STATISTICS

Project No. 2216 Scale 1:1



VIEW OF POPS AND RETAIL SPACE ON DANFORTH AVE



VIEW FROM THE CORNER OF DANFORTH AVE AND WESTLAKE AVE



VIEW OF NORTH ELEVATION ON DANFORTH AVE

Prior to commencement of the Work the Contractor shall verify all drawing dimensions, datums, and levels with the Contract Documents and with the conditions on site; ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for clarification.

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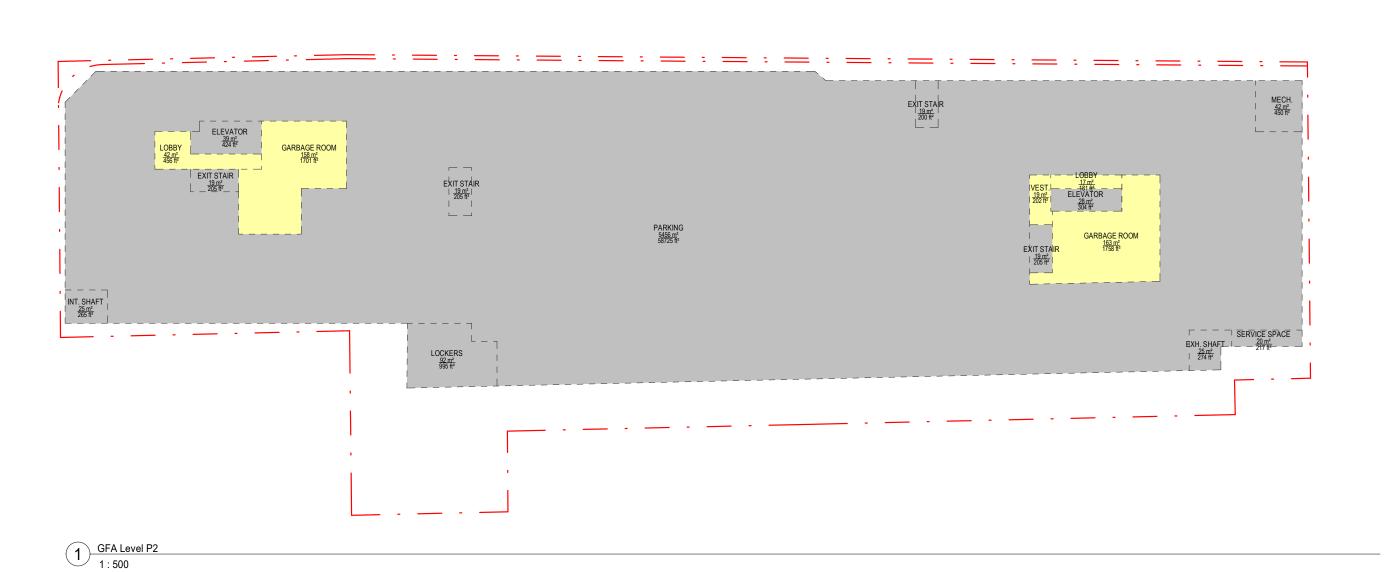
2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

PERSPECTIVE VIEWS

Project No. 2216

Drawing No.



GFA EXCLUSION P	ER ZBL-569-2013 L P2
Name	Area
ELEVATOR	39.4 m²
ELEVATOR	28.2 m²
EXH. SHAFT	25.4 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	18.6 m ²
INT. SHAFT	24.6 m²
LOCKERS	92.4 m²
MECH.	41.8 m ²
PARKING	5455.7 m ²
SERVICE SPACE	20.2 m ²
Grand total	5803.6 m²

GFA PER ZBL-5	69-2013 LEVEL P2			RUCTION AREA (GCA EVEL P2
Name	Area		Name	Area
GARBAGE ROOM	163.3 m ²	ELE	VATOR	39.4 m²
GARBAGE ROOM	158.1 m ²	ELE	VATOR	28.2 m ²
LOBBY	42.4 m²	EXH	H. SHAFT	25.4 m²
LOBBY	16.8 m ²	EXI	T STAIR	19.1 m²
VEST.	18.8 m²	EXI	T STAIR	19.1 m²
Grand total	399.3 m ²	EXI	T STAIR	19.1 m ²
		EXI	T STAIR	18.6 m ²
		GAF	RBAGE ROOM	163.3 m ²
		GAF	RBAGE ROOM	158.1 m ²
		INT.	. SHAFT	24.6 m ²
		LOE	BBY	42.4 m ²
		LOE	BBY	16.8 m ²
		LOC	CKERS	92.4 m ²
		ME	CH.	41.8 m ²

PARKING

Grand total

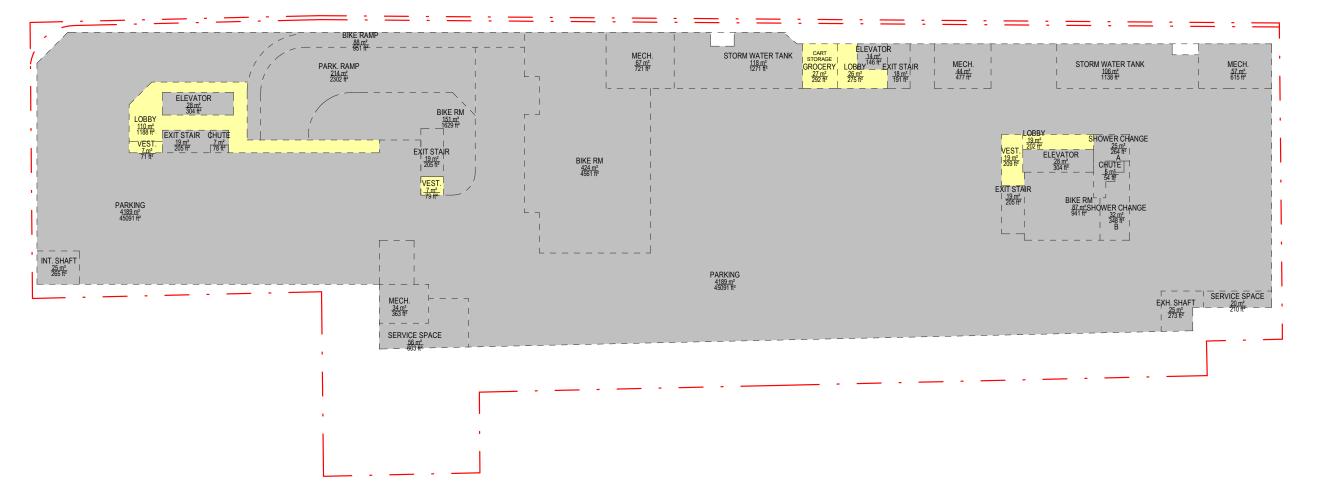
VEST.

SERVICE SPACE

5455.7 m²

20.2 m²

18.8 m² 6202.9 m²



2 GFA Level P1 1:500

4 GFA Level02 1:500

GFA EXCLUSION PER ZBL-569-2013 LEVEL P1		GFA EXCLUSION PER ZBL-569-2013 LEVEL P1		
Name	Area	Name	Area	
BIKE RAMP	88.4 m²	MECH.	67.0 m ²	
BIKE RM	423.7 m ²	MECH.	57.1 m ²	
BIKE RM	151.3 m²	MECH.	44.4 m²	
BIKE RM	87.5 m ²	MECH.	33.7 m²	
BIKE RM	26.7 m ²	PARK. RAMP	213.9 m ²	
CHUTE	7.2 m ²	PARKING	4189.1 m ²	
CHUTE	5.0 m ²	SERVICE SPACE	56.1 m ²	
ELEVATOR	28.2 m²	SERVICE SPACE	19.5 m²	
ELEVATOR	28.2 m ²	SHOWER CHANGE	32.3 m ²	
ELEVATOR	13.5 m ²	SHOWER CHANGE	24.5 m ²	
EXH. SHAFT	25.4 m²	STORM WATER TANK	118.1 m²	
EXIT STAIR	19.1 m²	STORM WATER TANK	105.7 m²	
EXIT STAIR	19.1 m²	Grand total	5946.2 m²	
EXIT STAIR	19.1 m²			
EXIT STAIR	17.7 m²			
INT. SHAFT	24.6 m ²			

GFA PER ZBL-	569-2013 LEVEL P1	
Name	Area	
GROCERY	27.1 m ²	E
LOBBY	110.4 m ²	E
LOBBY	25.6 m ²	E
LOBBY	18.8 m²	E
VEST.	19.4 m²	E
VEST.	7.3 m ²	
VEST.	6.6 m ²	
Grand total	215.2 m²	E
		E

- LEVE	L P1	- LEVEL P	1
Name	Area	Name	Area
BIKE RAMP	88.4 m²	LOBBY	18.8 m ²
BIKE RM	423.7 m ²	MECH.	67.0 m ²
BIKE RM	151.3 m ²	MECH.	57.1 m ²
BIKE RM	87.5 m²	MECH.	44.4 m²
BIKE RM	26.7 m²	MECH.	33.7 m²
CHUTE	7.2 m ²	PARK. RAMP	213.9 m ²
CHUTE	5.0 m ²	PARKING	4189.1 m ²
ELEVATOR	28.2 m²	SERVICE SPACE	56.1 m ²
ELEVATOR	28.2 m²	SERVICE SPACE	19.5 m²
ELEVATOR	13.5 m²	SHOWER CHANGE	32.3 m ²
EXH. SHAFT	25.4 m²	SHOWER CHANGE	24.5 m ²
EXIT STAIR	19.1 m²	STORM WATER TANK	118.1 m²
EXIT STAIR	19.1 m²	STORM WATER TANK	105.7 m²
EXIT STAIR	19.1 m²	VEST.	19.4 m²
EXIT STAIR	17.7 m²	VEST.	7.3 m²
GROCERY	27.1 m²	VEST.	6.6 m²
INT. SHAFT	24.6 m²	Grand total	6161.4 m²
LOBBY	110.4 m²		
LOBBY	25.6 m ²		

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GROSS FLOOR AREA (ZBL 569-2013)

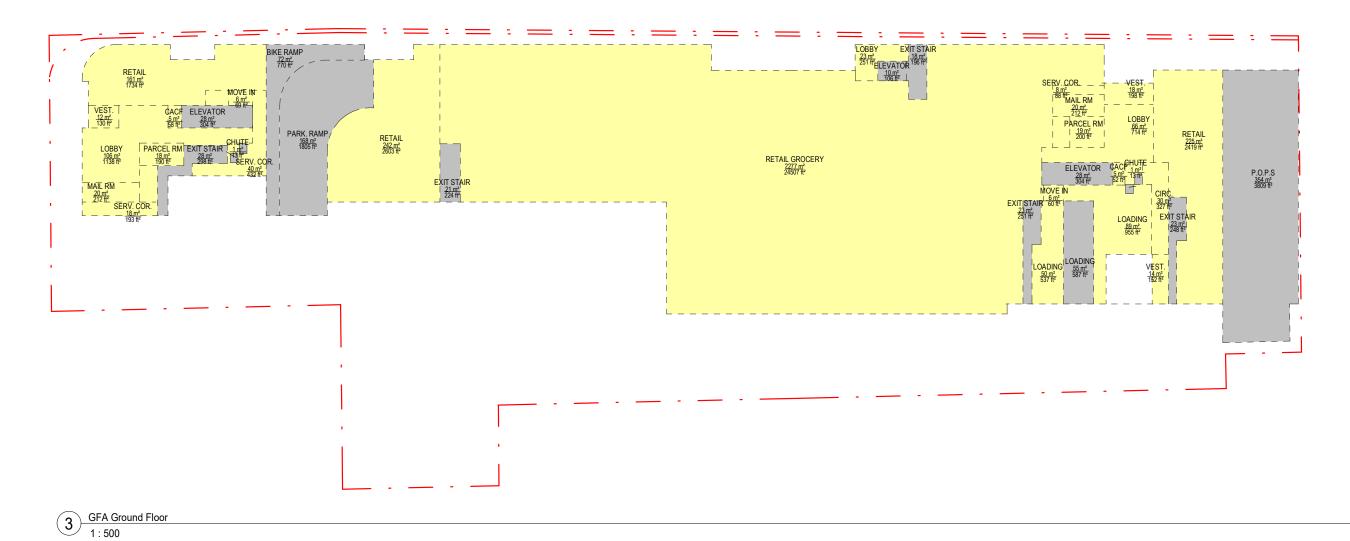
GROSS FLOOR AREA (ZBL 569-2013)

569-2013 EXCLUSION

Gross Floor Area Calculations for an Apartment Building in the Commercial Residential Zone Category per ZBL 569-2013, Section 40.5.40.40 (5).

In the Commercial Residential Zone category the gross floor area of an apartment building is reduced by the area in the building used for:

(A) parking, loading and bicycle parking below-ground;
(B) required loading spaces at the ground level and required bicycle parking spaces at or above ground;
(C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
(D) shower and change facilities required by this By-law for required bicycle parking spaces;
(E) amenity space required by this By-law;
(F) elevator shafts;
(G) garbage shafts;
(H) mechanical penthouse; and
(I) exit stairwells in the building.



GROUND FLO	GROUND FLOOR		
Name	Area		
BIKE RAMP	71.6 m²		
CHUTE	1.3 m ²		
CHUTE	1.3 m ²		
CHUTE	1.2 m ²		
CHUTE	1.2 m ²		
ELEVATOR	28.2 m ²		
ELEVATOR	28.2 m ²		
ELEVATOR	9.9 m ²		
EXIT STAIR	27.7 m ²		
EXIT STAIR	23.3 m ²		
EXIT STAIR	23.0 m ²		
EXIT STAIR	20.8 m ²		
EXIT STAIR	18.2 m ²		

GFA EXCLUSION PER ZBL-569-2013 GROUND FLOOR		GFA PER ZBL-569-2013 GROUND FLOOR		GFA PER ZBL-569-2013 GROUND FLOOR	
Name	Area	Name	Area	Name	Area
BIKE RAMP	71.6 m ²	BF WC	11.5 m ²	MAIL RM	19.7 m²
CHUTE	1.3 m ²	BF WC	9.2 m²	MAIL RM	19.7 m²
CHUTE	1.3 m ²	CACF	5.4 m²	MOVE IN	6.4 m²
CHUTE	1.2 m ²	CACF	4.8 m²	MOVE IN	5.6 m ²
CHUTE	1.2 m ²	CIRC.	30.4 m²	PARCEL RM	18.6 m ²
ELEVATOR	28.2 m ²	LOADING	88.7 m²	PARCEL RM	17.7 m ²
ELEVATOR	28.2 m ²	LOADING	49.9 m²	RETAIL	241.8 m ²
ELEVATOR	9.9 m²	LOBBY	105.7 m ²	RETAIL	224.7 m ²
EXIT STAIR	27.7 m²	LOBBY	66.4 m²	RETAIL	161.1 m²
EXIT STAIR	23.3 m ²	LOBBY	23.4 m²	RETAIL	6.0 m ²
EXIT STAIR	23.0 m ²	LOBBY STORAGE	5.4 m²	RETAIL GROCERY	2276.8 m ²
EXIT STAIR	20.8 m ²			SERV. COR.	40.1 m ²
EXIT STAIR	18.2 m²	1		SERV. COR.	17.9 m²
LOADING	54.6 m ²	1		SERV. COR.	8.2 m²
P.O.P.S	353.9 m²	1		VEST.	18.4 m²
PARK. RAMP	167.7 m²	1		VEST.	14.1 m²
Grand total	832.0 m²	1		VEST.	12.1 m²

Grand total

3509.5 m²

GROSS CONSTRUC GROUND -		A) GROSS CONSTRUCTI - GROUND F	
Name	Area	Name	Area
BF WC	11.5 m²	LOADING	54.6 m ²
BF WC	9.2 m²	LOADING	49.9 m²
BIKE RAMP	71.6 m²	LOBBY	105.7 m ²
CACF	5.4 m²	LOBBY	66.4 m²
CACF	4.8 m²	LOBBY	23.4 m ²
CHUTE	1.3 m ²	LOBBY STORAGE	5.4 m ²
CHUTE	1.3 m ²	MAIL RM	19.7 m ²
CHUTE	1.2 m ²	MAIL RM	19.7 m²
CHUTE	1.2 m ²	MOVE IN	6.4 m ²
CIRC.	30.4 m ²	MOVE IN	5.6 m ²
ELEVATOR	28.2 m ²	P.O.P.S	353.9 m ²
ELEVATOR	28.2 m ²	PARCEL RM	18.6 m ²
ELEVATOR	9.9 m²	PARCEL RM	17.7 m ²
EXIT STAIR	27.7 m ²	PARK. RAMP	167.7 m ²
EXIT STAIR	23.3 m ²	RETAIL	241.8 m ²
EXIT STAIR	23.0 m ²	RETAIL	224.7 m ²
EXIT STAIR	20.8 m ²	RETAIL	161.1 m ²
EXIT STAIR	18.2 m²	RETAIL	6.0 m ²
LOADING	88.7 m ²	RETAIL GROCERY	2276.8 m ²
		SERV. COR.	40.1 m ²
		SERV. COR.	17.9 m²
		SERV. COR.	8.2 m ²

Grand total

18.4 m² 14.1 m²

12.1 m² 4341.6 m² _____

GFA EXCLUSION P LEVE	
Name	Area
CHUTE	1.6 m ²
CHUTE	1.4 m ²
CHUTE	1.3 m ²
CHUTE	1.2 m ²
ELEVATOR	28.2 m²
ELEVATOR	22.0 m ²
EXIT STAIR	19.1 m ²
EXIT STAIR	19.1 m ²
EXIT STAIR	14.3 m ²
EXIT STAIR	13.8 m²
Grand total	122.0 m²

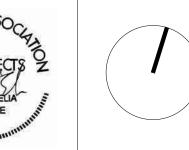
GFA PER ZBL-5	569-2013 LEVEL 02
Name	Area
CIRC.	74.8 m ²
RETAIL	309.6 m ²
UNIT 1BD	63.7 m ²
UNIT 1BD	63.7 m ²
UNIT 1BD	63.7 m ²
UNIT 1BD	60.3 m ²
UNIT 1BD	58.3 m ²
UNIT 1BD	53.5 m ²
UNIT 1BD	50.5 m ²
UNIT 2BD	73.1 m ²
UNIT 2BD	73.1 m ²
UNIT 2BD	73.1 m ²
UNIT 3 BD	122.7 m ²
UNIT 4 BD	126.9 m²
UNIT STUDIO	45.5 m ²
UNIT STUDIO	44.6 m ²
Grand total	1357.1 m²

GROSS CONSTRUCTION - LEVEL 02	AREA (GCA)	GROSS CONSTRUCTION - LEVEL 02	AREA (GCA
Name	Area	Name	Area
CHUTE	1.6 m ²	UNIT 1BD	63.7 m ²
CHUTE	1.4 m ²	UNIT 1BD	63.7 m ²
CHUTE	1.3 m ²	UNIT 1BD	63.7 m ²
CHUTE	1.2 m ²	UNIT 1BD	60.3 m ²
CIRC.	74.8 m²	UNIT 1BD	58.3 m ²
ELEVATOR	28.2 m ²	UNIT 1BD	53.5 m ²
ELEVATOR	22.0 m ²	UNIT 1BD	50.5 m ²
EXIT STAIR	19.1 m²	UNIT 2BD	73.1 m ²
EXIT STAIR	19.1 m²	UNIT 2BD	73.1 m ²
EXIT STAIR	14.3 m²	UNIT 2BD	73.1 m ²
EXIT STAIR	13.8 m²	UNIT 3 BD	122.7 m ²
RETAIL	309.6 m ²	UNIT 4 BD	126.9 m²
		UNIT STUDIO	45.5 m ²
		UNIT STUDIO	44.6 m ²
		Grand total	1479.1 m²

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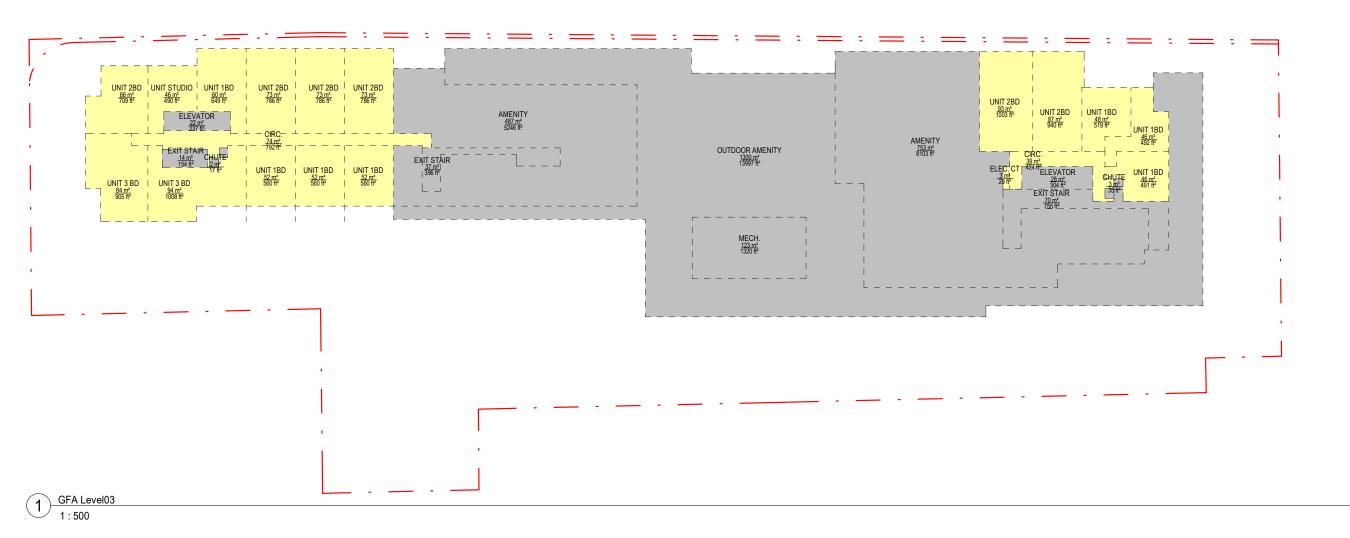
2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

GFA DIAGRAMS PER ZBL 569-2013

Scale As indicated Project No. 2216

Drawing No.



LEVEL	03
Name	Area
AMENITY	752.8 m ²
AMENITY	487.4 m ²
CHUTE	3.2 m ²
CHUTE	1.6 m ²
CHUTE	1.4 m²
ELEVATOR	28.2 m ²
ELEVATOR	22.0 m ²
EXIT STAIR	70.2 m ²
EXIT STAIR	36.7 m ²
EXIT STAIR	14.3 m ²
MECH.	122.6 m ²
OUTDOOR AMENITY	1300.4 m²
Grand total	2840.8 m²

Name	Ar	
CIRC.	73.6 m²	
CIRC.	39.4 m²	
ELEC. CT	2.7 m ²	
UNIT 1BD	60.3 m ²	
UNIT 1BD	52.0 m ²	
UNIT 1BD	52.0 m ²	
UNIT 1BD	52.0 m ²	
UNIT 1BD	48.2 m²	
UNIT 1BD	45.7 m ²	
UNIT 1BD	45.6 m ²	
UNIT 2BD	93.2 m²	
UNIT 2BD	87.4 m²	
UNIT 2BD	73.1 m ²	
UNIT 2BD	73.1 m²	
UNIT 2BD	73.1 m ²	
UNIT 2BD	65.9 m²	
UNIT 3 BD	93.7 m²	
UNIT 3 BD	84.1 m²	
UNIT STUDIO	45.5 m²	
Grand total	1160.5 m ²	

GROSS CONSTRUC - LEVE) GROSS CONSTRUCTIO - LEVEL 0	
Name	Area	Name	Area
AMENITY	752.8 m²	MECH.	122.6 m²
AMENITY	487.4 m²	OUTDOOR AMENITY	1300.4 m²
CHUTE	3.2 m ²	UNIT 1BD	60.3 m ²
CHUTE	1.6 m ²	UNIT 1BD	52.0 m ²
CHUTE	1.4 m ²	UNIT 1BD	52.0 m ²
CIRC.	73.6 m ²	UNIT 1BD	52.0 m ²
CIRC.	39.4 m²	UNIT 1BD	48.2 m²
ELEC. CT	2.7 m ²	UNIT 1BD	45.7 m²
ELEVATOR	28.2 m ²	UNIT 1BD	45.6 m ²
ELEVATOR	22.0 m ²	UNIT 2BD	93.2 m ²
EXIT STAIR	70.2 m ²	UNIT 2BD	87.4 m²
EXIT STAIR	36.7 m ²	UNIT 2BD	73.1 m²
EXIT STAIR	14.3 m²	UNIT 2BD	73.1 m²
		UNIT 2BD	73.1 m ²
		UNIT 2BD	65.9 m²
		UNIT 3 BD	93.7 m²
		UNIT 3 BD	84.1 m ²
		UNIT STUDIO	45.5 m ²
		Grand total	4001.3 m ²



1:500		
GFA EXCLUSION P LEVE		
Name	Area	
CHUTE	1.8 m ²	
CHUTE	1.6 m ²	
CHUTE	1.4 m ²	
CHUTE	1.4 m ²	
ELEVATOR	23.8 m ²	
ELEVATOR	22.0 m ²	
EXIT STAIR	22.3 m ²	
EXIT STAIR	14.3 m ²	
EXIT STAIR	13.8 m²	
Grand total	102.5 m ²	

GFA Level05-08

Name	Area	Name	Area
CIRC.	117.2 m²	UNIT 2BD	67.6 m ²
CIRC.	110.4 m ²	UNIT 2BD	65.0 m ²
LOCKERS	50.3 m ²	UNIT 2BD	63.7 m ²
LOCKERS	18.4 m²	UNIT 2BD	63.7 m ²
MECH.	2.3 m ²	UNIT 2BD	63.7 m ²
MECH.	2.3 m ²	UNIT 2BD	63.7 m ²
MECH.	2.3 m ²	UNIT 2BD	62.1 m ²
UNIT 1BD	58.6 m ²	UNIT 2BD	62.1 m ²
UNIT 1BD	58.6 m ²	UNIT 2BD	62.0 m ²
UNIT 1BD	56.9 m ²	UNIT 2BD	58.5 m ²
UNIT 1BD	55.8 m ²	UNIT 3 BD	110.5 m ²
UNIT 1BD	53.5 m ²	UNIT 3 BD	96.7 m ²
UNIT 1BD	52.5 m ²	UNIT 3 BD	90.7 m ²
UNIT 1BD	50.5 m ²	UNIT 3 BD	88.2 m ²
UNIT 1BD	49.5 m ²	UNIT 3 BD	85.0 m ²
UNIT 1BD	48.3 m ²	UNIT STUDIO	45.9 m ²
UNIT 1BD	46.8 m ²	UNIT STUDIO	45.8 m ²
UNIT 1BD	46.8 m²	UNIT STUDIO	41.9 m²
UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m²
UNIT 1BD	46.4 m²	UNIT STUDIO	29.3 m²
UNIT 1BD	42.1 m ²	UNIT STUDIO	29.3 m ²
UNIT 1BD	40.8 m ²	UNIT STUDIO	29.3 m ²
UNIT 2BD	68.6 m ²	Grand total	2547.7 m ²

GFA PER ZBL-56	9-2013 LEVEL 0	7 GFA PER ZBL-56	9-2013 LEVEL 07	GROSS CONSTRUC - LEVE		GROSS CONSTRUC - LEVE		GROSS CONSTRUC - LEVE	
Name	Area	Name	Area	Name	Area	Name	Area	Name	Area
CIRC.	117.2 m²	UNIT 2BD	67.6 m²	CHUTE	1.8 m ²	UNIT 1BD	48.3 m²	UNIT STUDIO	45.9 m ²
CIRC.	110.4 m²	UNIT 2BD	65.0 m ²	CHUTE	1.6 m ²	UNIT 1BD	46.8 m²	UNIT STUDIO	45.8 m²
LOCKERS	50.3 m ²	UNIT 2BD	63.7 m ²	CHUTE	1.4 m ²	UNIT 1BD	46.8 m²	UNIT STUDIO	41.9 m ²
LOCKERS	18.4 m²	UNIT 2BD	63.7 m ²	CHUTE	1.4 m ²	UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m ²
MECH.	2.3 m ²	UNIT 2BD	63.7 m ²	CIRC.	117.2 m ²	UNIT 1BD	46.4 m²	UNIT STUDIO	29.3 m ²
MECH.	2.3 m ²	UNIT 2BD	63.7 m²	CIRC.	110.4 m²	UNIT 1BD	42.1 m²	UNIT STUDIO	29.3 m ²
MECH.	2.3 m ²	UNIT 2BD	62.1 m ²	ELEVATOR	23.8 m ²	UNIT 1BD	40.8 m ²	UNIT STUDIO	29.3 m ²
UNIT 1BD	58.6 m ²	UNIT 2BD	62.1 m ²	ELEVATOR	22.0 m ²	UNIT 2BD	68.6 m²	Grand total	2650.2 m ²
UNIT 1BD	58.6 m²	UNIT 2BD	62.0 m ²	EXIT STAIR	22.3 m ²	UNIT 2BD	68.0 m²		
UNIT 1BD	56.9 m²	UNIT 2BD	58.5 m ²	EXIT STAIR	14.3 m ²	UNIT 2BD	67.6 m ²		
UNIT 1BD	55.8 m²	UNIT 3 BD	110.5 m ²	EXIT STAIR	13.8 m ²	UNIT 2BD	65.0 m ²		
UNIT 1BD	53.5 m ²	UNIT 3 BD	96.7 m ²	LOCKERS	50.3 m ²	UNIT 2BD	63.7 m ²		
UNIT 1BD	52.5 m ²	UNIT 3 BD	90.7 m ²	LOCKERS	18.4 m²	UNIT 2BD	63.7 m ²		
UNIT 1BD	50.5 m ²	UNIT 3 BD	88.2 m ²	MECH.	2.3 m ²	UNIT 2BD	63.7 m ²		
UNIT 1BD	49.5 m²	UNIT 3 BD	85.0 m ²	MECH.	2.3 m ²	UNIT 2BD	63.7 m ²		
UNIT 1BD	48.3 m²	UNIT STUDIO	45.9 m ²	MECH.	2.3 m ²	UNIT 2BD	62.1 m ²		
UNIT 1BD	46.8 m²	UNIT STUDIO	45.8 m ²	UNIT 1BD	58.6 m ²	UNIT 2BD	62.1 m ²		
UNIT 1BD	46.8 m²	UNIT STUDIO	41.9 m ²	UNIT 1BD	58.6 m ²	UNIT 2BD	62.0 m ²		
UNIT 1BD	46.8 m ²	UNIT STUDIO	29.3 m ²	UNIT 1BD	56.9 m ²	UNIT 2BD	58.5 m ²		
UNIT 1BD	46.4 m²	UNIT STUDIO	29.3 m ²	UNIT 1BD	55.8 m ²	UNIT 3 BD	110.5 m ²		
UNIT 1BD	42.1 m ²	UNIT STUDIO	29.3 m ²	UNIT 1BD	53.5 m ²	UNIT 3 BD	96.7 m²		
UNIT 1BD	40.8 m²	UNIT STUDIO	29.3 m ²	UNIT 1BD	52.5 m ²	UNIT 3 BD	90.7 m ²		
UNIT 2BD	68.6 m²	Grand total	2547.7 m ²	UNIT 1BD	50.5 m ²	UNIT 3 BD	88.2 m ²		
UNIT 2BD	68.0 m ²			UNIT 1BD	49.5 m ²	UNIT 3 BD	85.0 m ²		



GFA EXCLUSION PER ZBL-569-2013 LEVEL 04		GFA PER ZB	L-569-2013 LEVEL 04	GFA PER ZBL-569-2013 LEV		
Name	Area	Name	Area	Name	Are	
CHUTE	1.8 m²	CIRC.	117.2 m²	UNIT 2BD	73.1 m²	
CHUTE	1.6 m ²	CIRC.	110.4 m²	UNIT 2BD	72.1 m ²	
CHUTE	1.4 m ²	LOCKERS	50.3 m ²	UNIT 2BD	72.1 m ²	
CHUTE	1.4 m ²	LOCKERS	18.4 m²	UNIT 2BD	68.6 m ²	
ELEVATOR	23.8 m ²	MECH.	2.3 m ²	UNIT 2BD	68.0 m ²	
ELEVATOR	22.0 m ²	MECH.	2.3 m ²	UNIT 2BD	66.1 m ²	
EXIT STAIR	22.3 m²	MECH.	2.3 m ²	UNIT 2BD	65.0 m ²	
EXIT STAIR	14.3 m²	MECH.	2.0 m ²	UNIT 2BD	62.1 m ²	
EXIT STAIR	13.8 m²	MECH.	1.9 m²	UNIT 2BD	62.1 m ²	
Grand total	102.5 m²	MECH.	1.2 m ²	UNIT 2BD	62.0 m ²	
		UNIT 1BD	62.8 m²	UNIT 2BD	60.4 m ²	
		UNIT 1BD	62.5 m ²	UNIT 2BD	59.6 m ²	
		UNIT 1BD	58.6 m ²	UNIT 2BD	57.8 m ²	
		UNIT 1BD	56.6 m ²	UNIT 3 BD	96.7 m²	
		UNIT 1BD	55.8 m ²	UNIT 3 BD	90.7 m ²	
		UNIT 1BD	53.5 m ²	UNIT 3 BD	88.2 m²	
		UNIT 1BD	52.5 m ²	UNIT 3 BD	83.3 m ²	
		UNIT 1BD	50.4 m ²	UNIT STUDIO	47.9 m ²	
		UNIT 1BD	49.7 m ²	UNIT STUDIO	45.5 m ²	
		UNIT 1BD	49.5 m ²	UNIT STUDIO	41.9 m ²	
		UNIT 1BD	46.8 m ²	UNIT STUDIO	31.9 m ²	
		UNIT 1BD	46.8 m²	UNIT STUDIO	31.9 m ²	
		UNIT 1BD	46.8 m²	UNIT STUDIO	31.9 m ²	
		UNIT 1BD	46.4 m²	UNIT STUDIO	30.9 m ²	

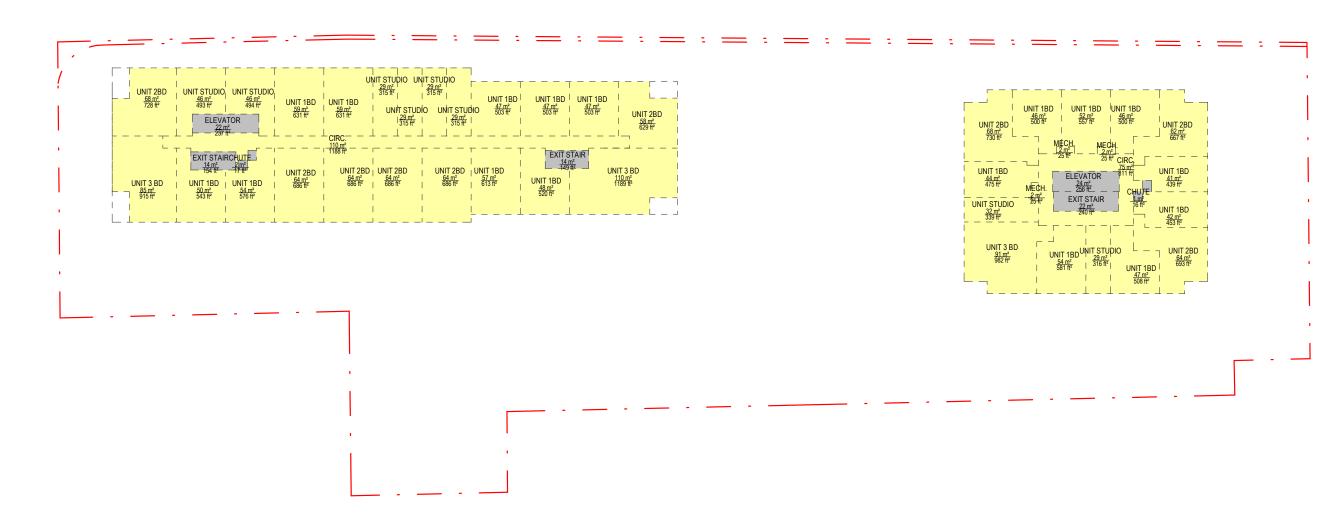
UNIT 1BD

42.1 m²

40.8 m²

Grand total

LEVEL 04		RUCTION AREA .EVEL 04		RUCTION AREA LEVEL 04	GROSS CONSTF (GCA) - L	
Area	Name	Area	Name	Area	Name	Area
	CHUTE	1.8 m²	UNIT 1BD	50.4 m ²	UNIT STUDIO	47.9 m²
	CHUTE	1.6 m ²	UNIT 1BD	49.7 m ²	UNIT STUDIO	45.5 m²
	CHUTE	1.4 m ²	UNIT 1BD	49.5 m ²	UNIT STUDIO	41.9 m²
	CHUTE	1.4 m ²	UNIT 1BD	46.8 m ²	UNIT STUDIO	31.9 m²
	CIRC.	117.2 m²	UNIT 1BD	46.8 m ²	UNIT STUDIO	31.9 m ²
	CIRC.	110.4 m²	UNIT 1BD	46.8 m ²	UNIT STUDIO	31.9 m ²
	ELEVATOR	23.8 m²	UNIT 1BD	46.4 m²	UNIT STUDIO	30.9 m ²
	ELEVATOR	22.0 m ²	UNIT 1BD	42.1 m ²	Grand total	2701.8 m ²
	EXIT STAIR	22.3 m²	UNIT 1BD	40.8 m ²		
	EXIT STAIR	14.3 m²	UNIT 2BD	73.1 m ²		
	EXIT STAIR	13.8 m²	UNIT 2BD	72.1 m ²		
	LOCKERS	50.3 m ²	UNIT 2BD	72.1 m ²		
	LOCKERS	18.4 m²	UNIT 2BD	68.6 m ²		
	MECH.	2.3 m ²	UNIT 2BD	68.0 m ²		
	MECH.	2.3 m ²	UNIT 2BD	66.1 m ²		
	MECH.	2.3 m ²	UNIT 2BD	65.0 m ²		
	MECH.	2.0 m ²	UNIT 2BD	62.1 m ²		
	MECH.	1.9 m ²	UNIT 2BD	62.1 m ²		
	MECH.	1.2 m²	UNIT 2BD	62.0 m ²		
	UNIT 1BD	62.8 m ²	UNIT 2BD	60.4 m ²		
	UNIT 1BD	62.5 m ²	UNIT 2BD	59.6 m ²		
	UNIT 1BD	58.6 m²	UNIT 2BD	57.8 m ²		
	UNIT 1BD	56.6 m ²	UNIT 3 BD	96.7 m ²		
	UNIT 1BD	55.8 m ²	UNIT 3 BD	90.7 m ²		
n²	UNIT 1BD	53.5 m²	UNIT 3 BD	88.2 m²		
	UNIT 1BD	52.5 m ²	UNIT 3 BD	83.3 m ²		



2599.4 m²

1	Level09	
(4/	1 - 500	

Name	Area
CHUTE	1.8 m²
CHUTE	1.6 m ²
CHUTE	1.4 m ²
CHUTE	1.4 m ²
ELEVATOR	23.8 m ²
ELEVATOR	22.0 m ²
EXIT STAIR	22.3 m ²
EXIT STAIR	14.3 m ²
EXIT STAIR	13.8 m²
Grand total	102.5 m ²

Name	Area	Name	Area
CIRC.	110.4 m²	UNIT 2BD	64.4 m ²
CIRC.	75.3 m ²	UNIT 2BD	63.7 m ²
MECH.	2.3 m ²	UNIT 2BD	63.7 m²
MECH.	2.3 m ²	UNIT 2BD	63.7 m²
MECH.	2.3 m ²	UNIT 2BD	63.7 m ²
UNIT 1BD	58.6 m²	UNIT 2BD	62.0 m ²
UNIT 1BD	58.6 m²	UNIT 2BD	58.5 m ²
UNIT 1BD	56.9 m²	UNIT 3 BD	110.5 m ²
UNIT 1BD	54.0 m ²	UNIT 3 BD	91.2 m ²
UNIT 1BD	53.5 m ²	UNIT 3 BD	85.0 m ²
UNIT 1BD	51.8 m ²	UNIT STUDIO	45.9 m ²
UNIT 1BD	50.5 m ²	UNIT STUDIO	45.8 m²
UNIT 1BD	48.3 m ²	UNIT STUDIO	31.5 m ²
UNIT 1BD	47.2 m ²	UNIT STUDIO	29.3 m ²
UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m ²
UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m ²
UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m ²
UNIT 1BD	46.4 m²	UNIT STUDIO	29.3 m ²
UNIT 1BD	46.4 m²	Grand total	2163.8 m²
UNIT 1BD	44.1 m²		
UNIT 1BD	42.1 m²		
UNIT 1BD	40.8 m ²		
UNIT 2BD	67.8 m²		
UNIT 2BD	67.6 m²		

GROSS CONSTR (GCA) - LI		GROSS CONSTR (GCA) - LI		GROSS CONSTR (GCA) - L	
Name	Area	Name	Area	Name	Area
CHUTE	1.8 m²	UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m ²
CHUTE	1.6 m ²	UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m ²
CHUTE	1.4 m²	UNIT 1BD	46.4 m²	UNIT STUDIO	29.3 m ²
CHUTE	1.4 m²	UNIT 1BD	46.4 m²	Grand total	2266.2 m²
CIRC.	110.4 m²	UNIT 1BD	44.1 m²		
CIRC.	75.3 m²	UNIT 1BD	42.1 m ²		
ELEVATOR	23.8 m²	UNIT 1BD	40.8 m ²		
ELEVATOR	22.0 m²	UNIT 2BD	67.8 m²		
EXIT STAIR	22.3 m²	UNIT 2BD	67.6 m ²		
EXIT STAIR	14.3 m²	UNIT 2BD	64.4 m²		
EXIT STAIR	13.8 m²	UNIT 2BD	63.7 m²		
MECH.	2.3 m ²	UNIT 2BD	63.7 m²		
MECH.	2.3 m ²	UNIT 2BD	63.7 m²		
MECH.	2.3 m ²	UNIT 2BD	63.7 m²		
UNIT 1BD	58.6 m ²	UNIT 2BD	62.0 m ²		
UNIT 1BD	58.6 m ²	UNIT 2BD	58.5 m ²		
UNIT 1BD	56.9 m ²	UNIT 3 BD	110.5 m ²		
UNIT 1BD	54.0 m ²	UNIT 3 BD	91.2 m²		
UNIT 1BD	53.5 m ²	UNIT 3 BD	85.0 m ²		
UNIT 1BD	51.8 m ²	UNIT STUDIO	45.9 m²		
UNIT 1BD	50.5 m ²	UNIT STUDIO	45.8 m ²		
UNIT 1BD	48.3 m²	UNIT STUDIO	31.5 m ²	1	
UNIT 1BD	47.2 m²	UNIT STUDIO	29.3 m²	1	
UNIT 1BD	46.8 m²	UNIT STUDIO	29.3 m²		

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GROSS FLOOR AREA (ZBL 569-2013)



GROSS FLOOR AREA (ZBL 569-2013)

569-2013 EXCLUSION

Gross Floor Area Calculations for an Apartment Building in the Commercial Residential Zone Category per ZBL 569-2013, Section 40.5.40.40 (5). In the Commercial Residential Zone category the gross floor area of an apartment building is reduced by the area in the building used for:

(A) parking, loading and bicycle parking below-ground; (B) required loading spaces at the ground level and required bicycle parking spaces at or above ground;
(C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement (D) shower and change facilities required by this By-law for required bicycle parking spaces; (E) amenity space required by this By-law; (F) elevator shafts; (G) garbage shafts;
 (H) mechanical penthouse; and
 (I) exit stairwells in the building.

SEP 10, 2025 OCT 28, 2024

Re-Issued for OPA and ZBA Issued for OPA and ZBA





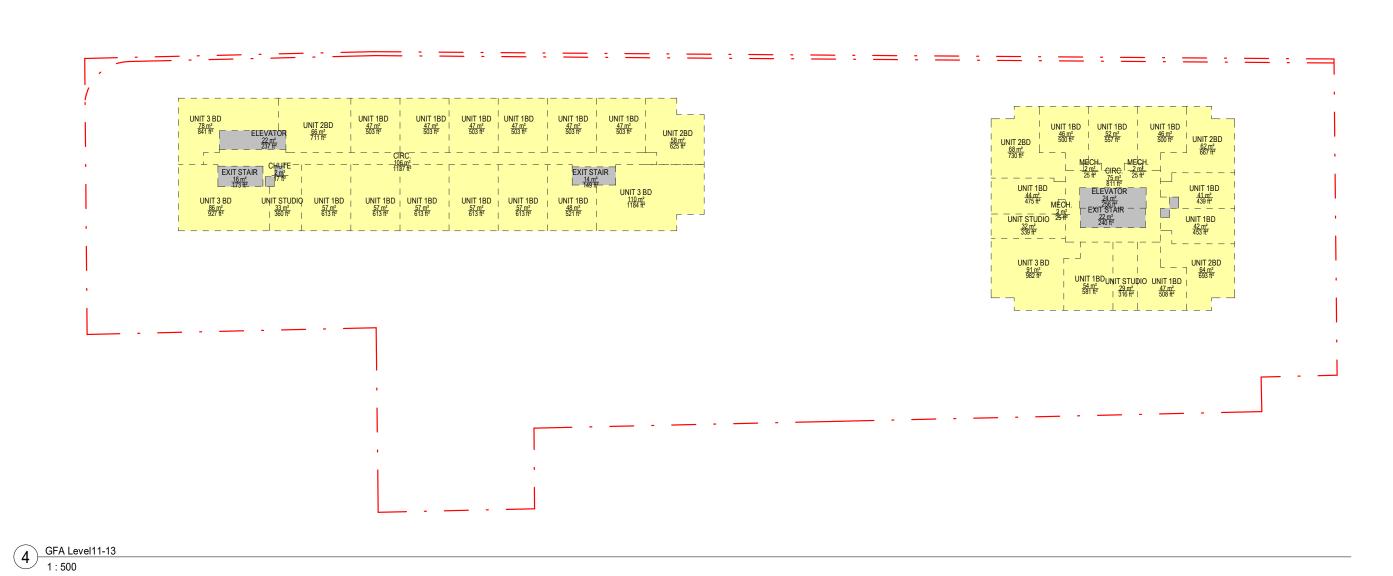
Issue/Revision

2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

GFA DIAGRAMS PER ZBL 569-2013

Project No. 2216 Scale As indicated Drawing No.

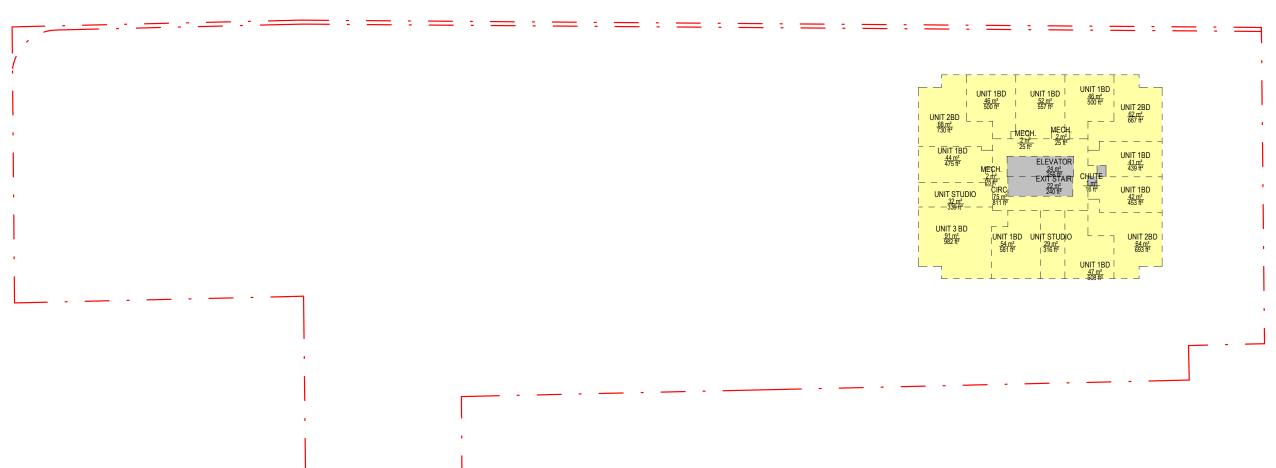


GEA EXCLUSION PER 7BI -569-2013

Name	Area
CHUTE	1.8 m²
CHUTE	1.6 m²
CHUTE	1.5 m ²
CHUTE	1.4 m ²
ELEVATOR	23.8 m ²
ELEVATOR	22.0 m ²
EXIT STAIR	22.3 m ²
EXIT STAIR	16.1 m²
EXIT STAIR	13.8 m²
Grand total	104.4 m²

2 GFA Level15-35 1:500

GFA PER ZBL-56	69-2013 LEVEL 11	GFA PER ZBL-56	9-2013 LEVEL 11	GROSS CONSTRUCT		GROSS CONSTRUC - LEVE	
Name	Area	Name	Area	Name	Area	Name	Area
CIRC.	105.6 m ²	UNIT 1BD	46.8 m²	CHUTE	1.8 m²	UNIT 1BD	46.8 m²
CIRC.	75.3 m ²	UNIT 1BD	46.8 m²	CHUTE	1.6 m ²	UNIT 1BD	46.8 m²
MECH.	2.3 m ²	UNIT 1BD	46.8 m²	CHUTE	1.5 m ²	UNIT 1BD	46.8 m ²
MECH.	2.3 m ²	UNIT 1BD	46.8 m²	CHUTE	1.4 m²	UNIT 1BD	46.8 m ²
MECH.	2.3 m ²	UNIT 1BD	46.4 m²	CIRC.	105.6 m²	UNIT 1BD	46.8 m ²
UNIT 1BD	56.9 m ²	UNIT 1BD	46.4 m²	CIRC.	75.3 m ²	UNIT 1BD	46.4 m²
UNIT 1BD	56.9 m²	UNIT 1BD	44.1 m²	ELEVATOR	23.8 m²	UNIT 1BD	46.4 m²
UNIT 1BD	56.9 m²	UNIT 1BD	42.1 m²	ELEVATOR	22.0 m ²	UNIT 1BD	44.1 m²
UNIT 1BD	56.9 m²	UNIT 1BD	40.8 m²	EXIT STAIR	22.3 m ²	UNIT 1BD	42.1 m ²
UNIT 1BD	56.9 m²	UNIT 2BD	67.8 m²	EXIT STAIR	16.1 m²	UNIT 1BD	40.8 m ²
UNIT 1BD	54.0 m ²	UNIT 2BD	66.1 m²	EXIT STAIR	13.8 m²	UNIT 2BD	67.8 m ²
UNIT 1BD	51.8 m ²	UNIT 2BD	64.4 m²	MECH.	2.3 m ²	UNIT 2BD	66.1 m ²
UNIT 1BD	48.4 m²	UNIT 2BD	62.0 m²	MECH.	2.3 m ²	UNIT 2BD	64.4 m²
UNIT 1BD	47.2 m²	UNIT 2BD	58.1 m²	MECH.	2.3 m ²	UNIT 2BD	62.0 m ²
UNIT 1BD	46.8 m ²	UNIT 3 BD	110.0 m ²	UNIT 1BD	56.9 m ²	UNIT 2BD	58.1 m ²
UNIT 1BD	46.8 m²	UNIT 3 BD	91.2 m²	UNIT 1BD	56.9 m²	UNIT 3 BD	110.0 m ²
		UNIT 3 BD	86.1 m²	UNIT 1BD	56.9 m²	UNIT 3 BD	91.2 m ²
		UNIT 3 BD	78.1 m²	UNIT 1BD	56.9 m²	UNIT 3 BD	86.1 m ²
		UNIT STUDIO	33.5 m²	UNIT 1BD	56.9 m²	UNIT 3 BD	78.1 m ²
		UNIT STUDIO	31.5 m²	UNIT 1BD	54.0 m ²	UNIT STUDIO	33.5 m²
		UNIT STUDIO	29.3 m²	UNIT 1BD	51.8 m²	UNIT STUDIO	31.5 m ²
		Grand total	1952.3 m²	UNIT 1BD	48.4 m²	UNIT STUDIO	29.3 m²
				UNIT 1BD	47.2 m²	Grand total	2056.7 m ²
				UNIT 1BD	46.8 m ²		



GFA EXCLUSION PER ZBL-569-2013 LEVEL 15		
Name	Area	
CHUTE	1.8 m ²	
CHUTE	1.4 m ²	
ELEVATOR	23.8 m²	
EXIT STAIR	22.3 m ²	
Grand total	49.4 m²	

GFA PER ZBL-569	9-2013 LEVEL 15	GROSS CONST
Name	Area	Name
CIRC.	75.3 m²	CHUTE
MECH.	2.3 m ²	CHUTE
MECH.	2.3 m ²	CIRC.
MECH.	2.3 m ²	ELEVATOR
UNIT 1BD	54.0 m ²	EXIT STAIR
UNIT 1BD	51.8 m ²	MECH.
UNIT 1BD	47.2 m ²	MECH.
UNIT 1BD	46.4 m²	MECH.
UNIT 1BD	46.4 m²	UNIT 1BD
UNIT 1BD	44.1 m ²	UNIT 1BD
UNIT 1BD	42.1 m ²	UNIT 1BD
UNIT 1BD	40.8 m ²	UNIT 1BD
UNIT 2BD	67.8 m ²	UNIT 1BD
UNIT 2BD	64.4 m²	UNIT 1BD
UNIT 2BD	62.0 m ²	UNIT 1BD
UNIT 3 BD	91.2 m ²	UNIT 1BD
UNIT STUDIO	31.5 m ²	UNIT 2BD
UNIT STUDIO	29.3 m ²	UNIT 2BD
Grand total	801.3 m ²	UNIT 2BD
		UNIT 3 BD
		UNIT STUDIO
		UNIT STUDIO

Grand total

STRUCTION AREA (GCA) - LEVEL 15 Area 1.8 m² 1.4 m² 75.3 m² 23.8 m² 22.3 m² 2.3 m² 2.3 m² 2.3 m² 54.0 m² 51.8 m² 47.2 m² 46.4 m² 46.4 m² 44.1 m² 42.1 m² 40.8 m² 67.8 m²

> 64.4 m² 62.0 m² 91.2 m² 31.5 m²

> 29.3 m²

850.6 m²

3 GFA MPH 1 : 500

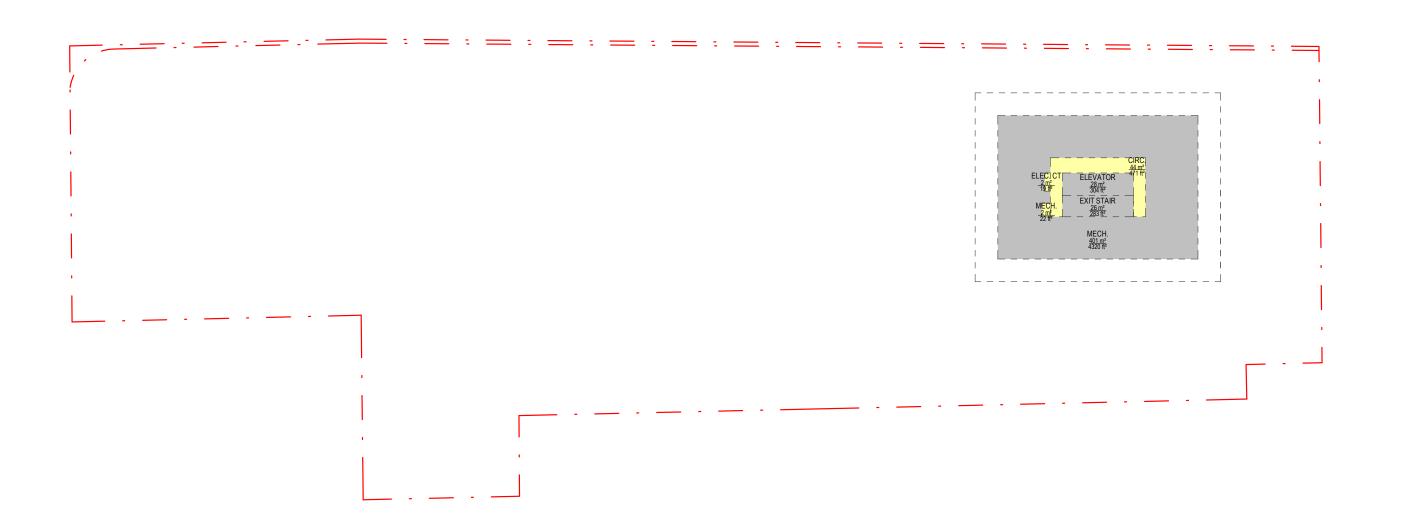


GFA EXCLUSION F LEVE	
Name	Area
CHUTE	1.8 m²
CHUTE	1.4 m²
ELEVATOR	23.8 m²
ELEVATOR	10.3 m ²
EXIT STAIR	22.3 m ²
EXIT STAIR	18.6 m ²
MECH.	271.2 m²
Grand total	349.4 m²

GFA PER ZBL-56	9-2013 LEVEL 14	GROSS CONSTRUC		GROSS CONSTRUC - LEVE	
Name	Area	Name	Area	Name	Area
CIRC.	75.3 m ²	CHUTE	1.8 m²	UNIT STUDIO	31.5 m²
CIRC.	8.8 m ²	CHUTE	1.4 m²	UNIT STUDIO	29.3 m²
MECH.	2.3 m ²	CIRC.	75.3 m ²	Grand total	1159.4 m²
MECH.	2.3 m ²	CIRC.	8.8 m²		
MECH.	2.3 m ²	ELEVATOR	23.8 m²		
UNIT 1BD	54.0 m ²	ELEVATOR	10.3 m ²		
UNIT 1BD	51.8 m ²	EXIT STAIR	22.3 m ²		
UNIT 1BD	47.2 m ²	EXIT STAIR	18.6 m²		
UNIT 1BD	46.4 m²	MECH.	271.2 m ²		
UNIT 1BD	46.4 m²	MECH.	2.3 m ²		
UNIT 1BD	44.1 m²	MECH.	2.3 m ²		
UNIT 1BD	42.1 m ²	MECH.	2.3 m ²		
UNIT 1BD	40.8 m ²	UNIT 1BD	54.0 m ²		
UNIT 2BD	67.8 m ²	UNIT 1BD	51.8 m ²		
UNIT 2BD	64.4 m²	UNIT 1BD	47.2 m²		
UNIT 2BD	62.0 m ²	UNIT 1BD	46.4 m²		
UNIT 3 BD	91.2 m ²	UNIT 1BD	46.4 m²		
UNIT STUDIO	31.5 m ²	UNIT 1BD	44.1 m²	-	
UNIT STUDIO	29.3 m ²	UNIT 1BD	42.1 m ²	-	
Grand total	810.1 m ²	UNIT 1BD	40.8 m²		
		UNIT 2BD	67.8 m²	1	
		UNIT 2BD	64.4 m²		
		UNIT 2BD	62.0 m ²		
				1	

UNIT 3 BD

91.2 m²



GFA EXCLUSION PER ZBL-569-2013 LEVEL MPH		
Name	Area	
ELEVATOR	28.2 m ²	
EXIT STAIR	26.3 m ²	
MECH.	401.3 m ²	
Grand total	455.9 m²	

3	GFA PER ZBL-569-2013 LEVEL MPH	
	Name Area	
	CIRC. 43.7 m ²	
	ELEC. CT 1.8 m ²] [E
	MECH. 2.1 m ²	E
	Grand total 47.6 m ²] [E

GROSS CONSTRUC ⁻ - LEVEL	,
Name	Area
CIRC.	43.7 m ²
ELEC. CT	1.8 m ²
ELEVATOR	28.2 m²
EXIT STAIR	26.3 m ²
MECH.	401.3 m ²
MECH.	2.1 m ²
Grand total	503.5 m ²

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GROSS FLOOR AREA (ZBL 569-2013)



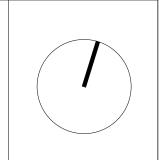
GROSS FLOOR AREA (ZBL 569-2013)

Gross Floor Area Calculations for an Apartment Building in the Commercial Residential Zone Category per ZBL 569-2013, Section 40.5.40.40 (5). In the Commercial Residential Zone category the gross floor area of an apartment building is reduced by the area in the building used for:

(A) parking, loading and bicycle parking below-ground;
(B) required loading spaces at the ground level and required bicycle parking spaces at or above ground;
(C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
(D) shower and change facilities required by this By-law for required bicycle parking spaces;
(E) amenity space required by this By-law;
(F) elevator shafts;
(G) garbage shafts;
(H) mechanical penthouse; and
(I) exit stairwells in the building.

SEP 10, 2025 OCT 28, 2024

Re-Issued for OPA and ZBA Issued for OPA and ZBA



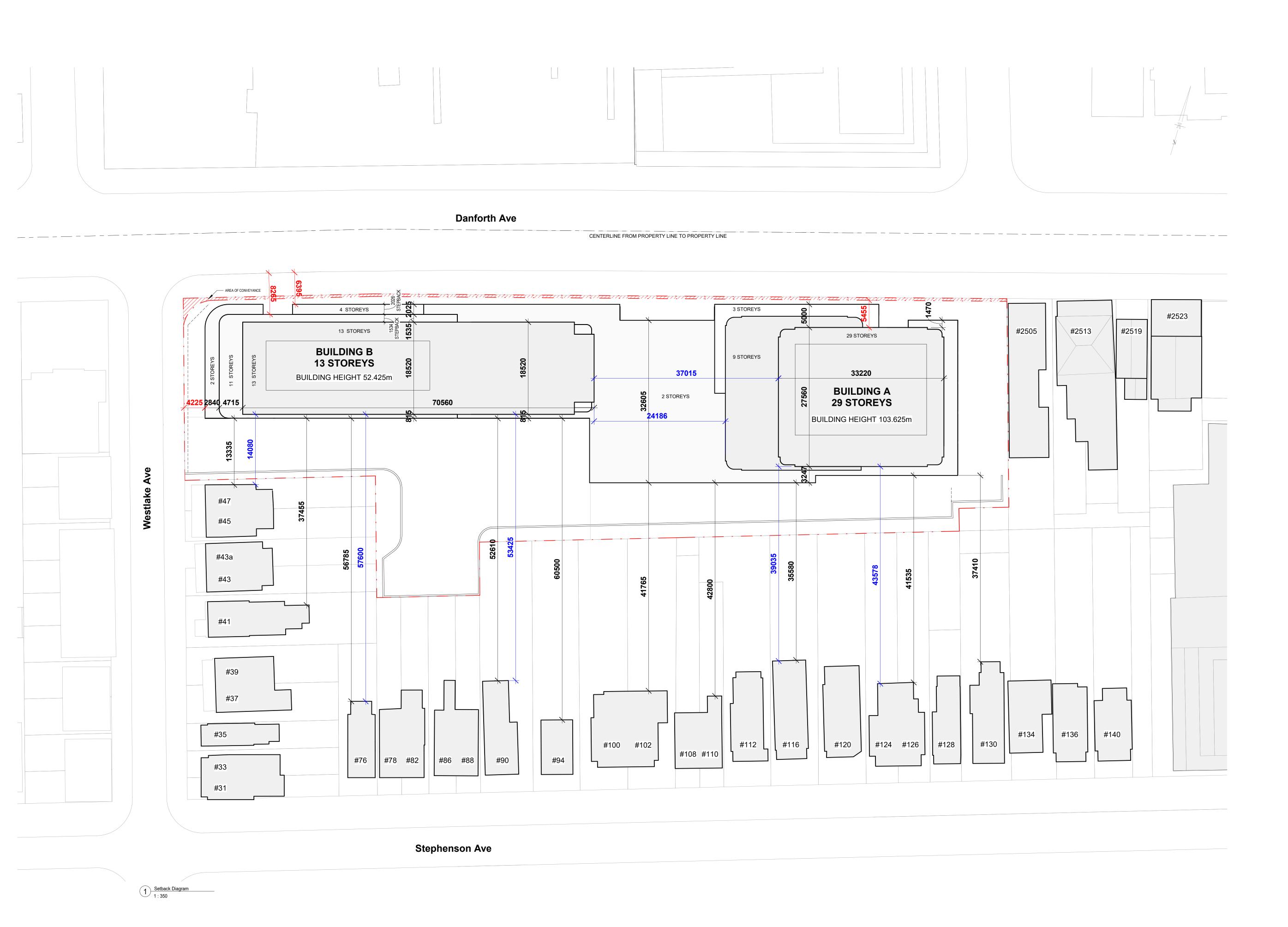
Issue/Revision

2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

GFA DIAGRAMS PER ZBL 569-2013

Project No. 2216 Scale As indicated Drawing No.



Prior to commencement of the Work the Contractor shall verify all drawing dimensions, datums, and levels with the Contract Documents and with the conditions on site; ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for

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SETBACK DIAGRAM LEGEND

SETBACK FROM PROPERTY LINE

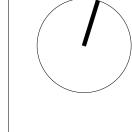
SEPARATION DISTANCE BETWEEN
UPPER FLOORS AND EXISTING
BUILDINGS

SEPARATION DISTANCE BETWEEN PODIUM AND EXISTING BUILDINGS

SEP 10, 2025 OCT 28, 2024

Re-Issued for OPA and ZBA Issued for OPA and ZBA





Issue/Revision

2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

SETBACK DIAGRAM

Project No. 2216 Drawing No.

Scale As indicated

GREEN ROOF STATISTICS		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)		41904.6 m ² 613.7 m ²
Total Roof Area (m²)		4231.2 m ²
Area of Residential Private Terraces (m²) Rooftop Outdoor Amenity Space, if in a Residential Building (m²) Area of Renewable Energy Devices (m²) Tower (s)Roof Area with floor plate less than 750 m²		1098.6 m² 0 m² N/A
Total Available Roof Space (m²)		2518.9 m²
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m²)	1511.34 m²	1530.7 m
Coverage of Available Roof Space (%)	60 %	60 %

Definitions

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium,

mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GREEN ROOF - An extension of an above grade roof, built on top of a human-made structure, that allows vegetation to grow in a growing medium and which is designed, constructed and maintained in accordance with the Toronto Green Roof Construction Standard.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

PRIVATE TERRACE - Outdoor amenity area on a roof that is available exclusively for use by the occupants of an abutting residential unit for recreational or social activities.

LOADING NOTES

1. TYPE G LOADING SPACE AND ADJACENT STAGING PAD HAVE VERTICAL CLEARANCE OF MIN 6.1 METERS,
OVERHEAD DOOR TO LOADING SPACE WILL HAVE MIN 4.4 METER HEIGHT. 2.1M DEEP STAGING AREA DIRECTLY IN FRONT OF THE LOADING AREA TO HAVE MIN, VERTICAL CLEARANCE OF 6.1M.

2. TYPE G LOADING SPACE WILL BE SHARED BETWEEN RESIDENTIAL AND NON-RESIDENTIAL USES. NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.

3. NON-RESIDENTIAL WASTE WILL BE LABELLED AND STORED SEPARATELY FROM THE BINS FOR RESIDENTIAL WASTE.

4. TYPE G LOADING SPACE WILL BE LEVEL (+/- 2%) AND CONSTRUCTED WITH MIN 200mm THICK SACRIFICIAL CONCERETE SLAB

5. A WARNING SYSTEM WILL BE PROVIDED, ALERTING DRIVERS WHEN EXITING THE UNDERGROUND PARKING GARAGE THAT LARGE TRUCKS ARE MANOEUVRING WITHIN THE PUBLIC LANE;

6. ALL ACCESS DRIVEWAYS TO BE USED BY THE GARBAGE COLLECTION VEHICLE WILL HAVE:

a) MAXIMUM GRADIENT OF 8%;

b) MINIMUM VERTICAL CLEARANCE OF 4.4 METERS THROUGHOUT;

c) MINIMUM WERTICAL CLEARANCE OF 1.5 METRES THROUGHOUT; AND,

b) MINIMUM VIDTH OF 4.5 METRES THROUGHOUT; AND,
d) 6 METRES WIDE AT POINT OF INGRESS AND EGRESS.
7. NO PARKING' SIGNS TO BE PROVIDED AND MAINTAINED ADJACENT TO THE LOADING SPACE.
8. CONSTRUCT ANY TYPE G LOADING SPACE AND ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS THERETO, TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR CITY OF TORONTO BULK LIFT AND REAR BIN LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.
9. THE RESIDENTIAL SOLID WASTE ROOM WILL ACCOMMODATE GARBAGE, RECYCLING AND ORGANICS FOR THE RESIDENTIAL COMPONENT OF THE BUILDING VIA USE OF A BISORTER IN THE DEVELOPMENT.
10. BULK WASTE HAS 10m2 DESIGNATED FLOOR AREA FOR THE DEVELOPMENT.
11. "COLLECTION OF WASTE MATERIALS FOR THIS DEVELOPMENT WILL TAKE PLACE IN AN ENCLOSED LOADING BAY. AN ON-SITE STAFF PERSON IS RESPONSIBLE FOR MOVING THE BINS FROM THE GARBAGE STORAGE SPACE TO THE COLLECTION POINT AND PROVIDE VEHICULAR DIRECTIVES TO THE COLLECTION VEHICLE OPERATOR AS REQUIRED."
12. THIS BUILDING IS DESIGNED WITH A TYPE G LOADING SPACE. A FLASHING WARNING LIGHT SYSTEM AND / OR APPROPRIATE SIGNAGE ADJACENT TO THE SPACE, AT NO COST TO THE CITY, WILL BE IN PLACE AND ACTIVATED DURING COLLECTION AND REMAIN ACTIVE UNTIL THE VEHICLE EXITS THE SITE. REFER TO TRAFFIC CONSULTANT REPORT FOR SWEPT PATH.
13. SOLID WASTE MANAGEMENT TO BE NOTIFIED UPON COMPLETION OF THE DEVELOPMENT AND SHOULD PUBLIC WASTE COLLECTION BE USED, ALL NECESSARY APPLICATION AND WAIVER FORMS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REFUSE COLLECTION.
14. NON-RESIDENTIAL GARBAGE WILL BE COLLECTED BY LISCENSED PRIVATE WASTE MANAGEMENT COMPANY.
15. REFUSE GENERATED BY THE NON-RESIDENTIAL USE MUST BE STORED ON SITE, IN RODENT PROOF CONTAINERS IN ACCORDANCE WITH CHAPTER 841 OF THE MUNICIPAL CODE, "WASTE COLLECTION, COMMERCIAL PROPERTIES".

16. TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEOUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLEGION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DATE. FOR SPECIFIC TRUCK DIMENSIONS AND TURNING RADII, REFER TO TRAFFIC CONSULTANT'S REPORT.

SITE PLAN NOTES

1. THE BUILDING IS TO BE SPRINKLERED.

2. RESIDENTIAL VISITOR PARKING SPACES WILL BE INDIVIDUALLY SIGNED AT THE FRONT OF EACH SPACE FOR THE USE OF RESIDENTIAL VISITORS. BUILDING MANAGEMENT SHALL PROVIDE ENFORCEMENT OF THIS ARRANGEMENT. VISITORS: BUILDING MANAGEMENT SHALL PROVIDE ENFORCEMENT OF THIS ARRANGEMENT.

3. SIDEWALKS AND BOULEVARDS WITHIN THE RIGHT OF WAY TO HAVE A MINIMUM 1% AND MAXIMUM 4% SLOPE TOWARDS THE ROADWAY.

4. REFER TO SITE SERVICING DOCUMENTS FOR SEWER AND WATER SERVICE INFORMATION.

5. ANY RETAINING WALLS ARE TO BE PROFESSIONALLY ENGINEERED.

6. ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGES THAT ARE NO LONGER REQUIRED ARE TO BE REMOVED. THE BOULEVARD WITHIN THE PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF TECHNICAL SERVICES ARE TO BE REINSTATED.

7. PROPOSED ACCESS TO THE RIGHT-OF-WAY/LANEWAY FOR THIS PROJECT TO BE DESIGNED IN ACCORDANCE WITH CITY STANDARD NOT 3140, 650.1 E.OR COMMINION OF THE SATISFACTION OF THE SATISFACTION OF THE SATISFACTION OF THE RIGHT-OF-WAY/LANEWAY FOR THIS PROJECT TO BE DESIGNED IN ACCORDANCE WITH CITY STANDARD NOT 3140, 650.1 E.OR COMMINION OF THE SATISFACTION O

NO.T310-050-1 FOR COMBINED CURB AND SIDEWALK VEHICULAR ENTRANCES.
8. NO SPEED BUMPS SHALL BE INSTALLED ON ANY DESIGNATED FIRE ROUTE.
9. MAX. POROSITY OF ALL GROUND LEVEL VENTILATION GRATES MUST BE 20mm X 20mm PER TORONTO GREEN STANDARDS.
10. ALL EXTERIOR LIGHT FIXTURES TO BE 'DARK SKY' COMPLIANT.

UTILITY/SERVICES NOTES

1. THE METHOD OF INSTALLATION FOR THE PROPOSED SERVICE CONNECTIONS WILL BE AT THE DISCRETION OF TORONTO WATER. 2. EXISTING CONNECTIONS NO LONGER IN USE SHALL BE DISCONNECTED BY TORONTO WATER AT THE OWNER'S COST.

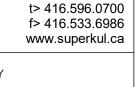
3. THE LOCATION OF THE WATER METER SHALL BE TO TORONTO WATER'S SATISFACTION."

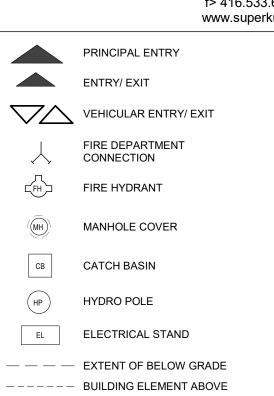
4. THE OWNER IS REQUIRED TO INSTALL AND MAINTAIN A PREMISE ISOLATION DEVICE FOR ALL APPLICABLE WATER SERVICES IN ACCORDANCE WITH THE TORONTO MUNICIPAL CODE, CHAPTER 851 WATER SUPPLY, THE BUILDING CODE AND CSA B64 SERIES 5. THE BUILDING'S STORM AND SANITARY SYSTEM MUST BE DESIGNED TO BE ABLE TO OPERATE UNDER MUNICIPAL SURCHARGE CONDITIONS.
6. BE ADVISED THAT SHOULD ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL.

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EXTENT OF GROUND FLOOR

OPEN TO BELOW

GEODETIC ELEVATION HT: 12.30 m ELEVATION

FROM EXTABLISHED GRADE

/ 78.20 EXISTING GRADE ELEVATION

EXISTING BUILDING

PROPERTY CONVEYANCE

BARRIER FREE

TURNING RADIUS

PROPERTY LINE FFE FINISHED FLOOR ELEVATION

TOP OF PARAPET TOR TOP OF ROOF

TOS TOP OF STRUCTURE TGS TORONTO GREEN STANDARDS

TPZ TREE PROTECTION ZONE

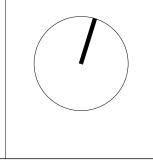
NOTE:

SURVEY INFORMATION TAKEN FROM "LOT 1 AND PART OF LOT 2 REGISTERED PLAN 614 YORK AND PART OF LOT 13 SOUTH SIDE OF DANFORTH AVENUE REGISTERED PLAN 90 YORK AND PART OF LOTS 3,4,5,6,7 AND 8 REGISTERED PLAN 580 YORK CITY OF TORONTO" BY KRCMAR SURVEYORS LTD. DATED JULY, 27 2022.

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Issue/Revision

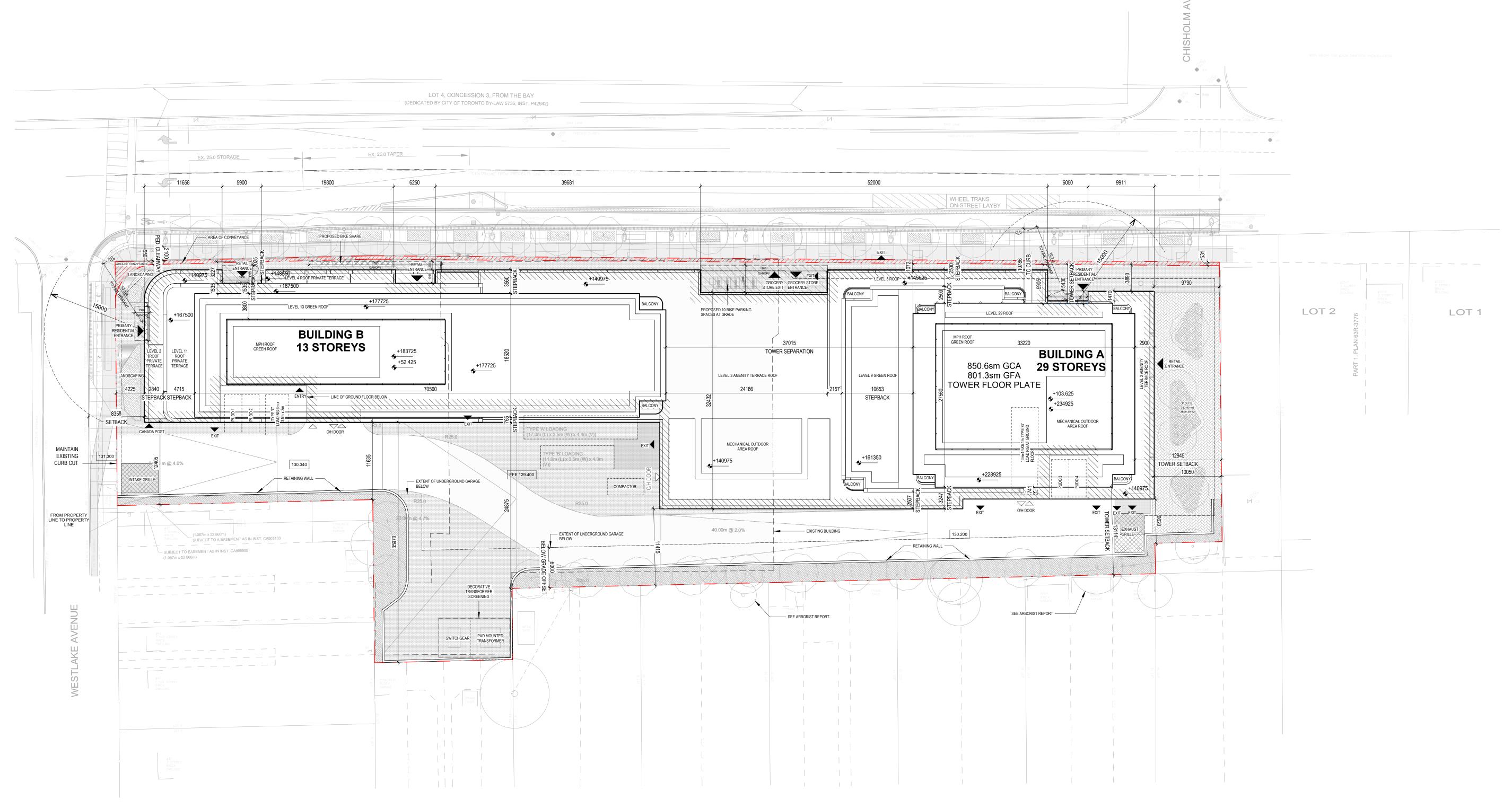
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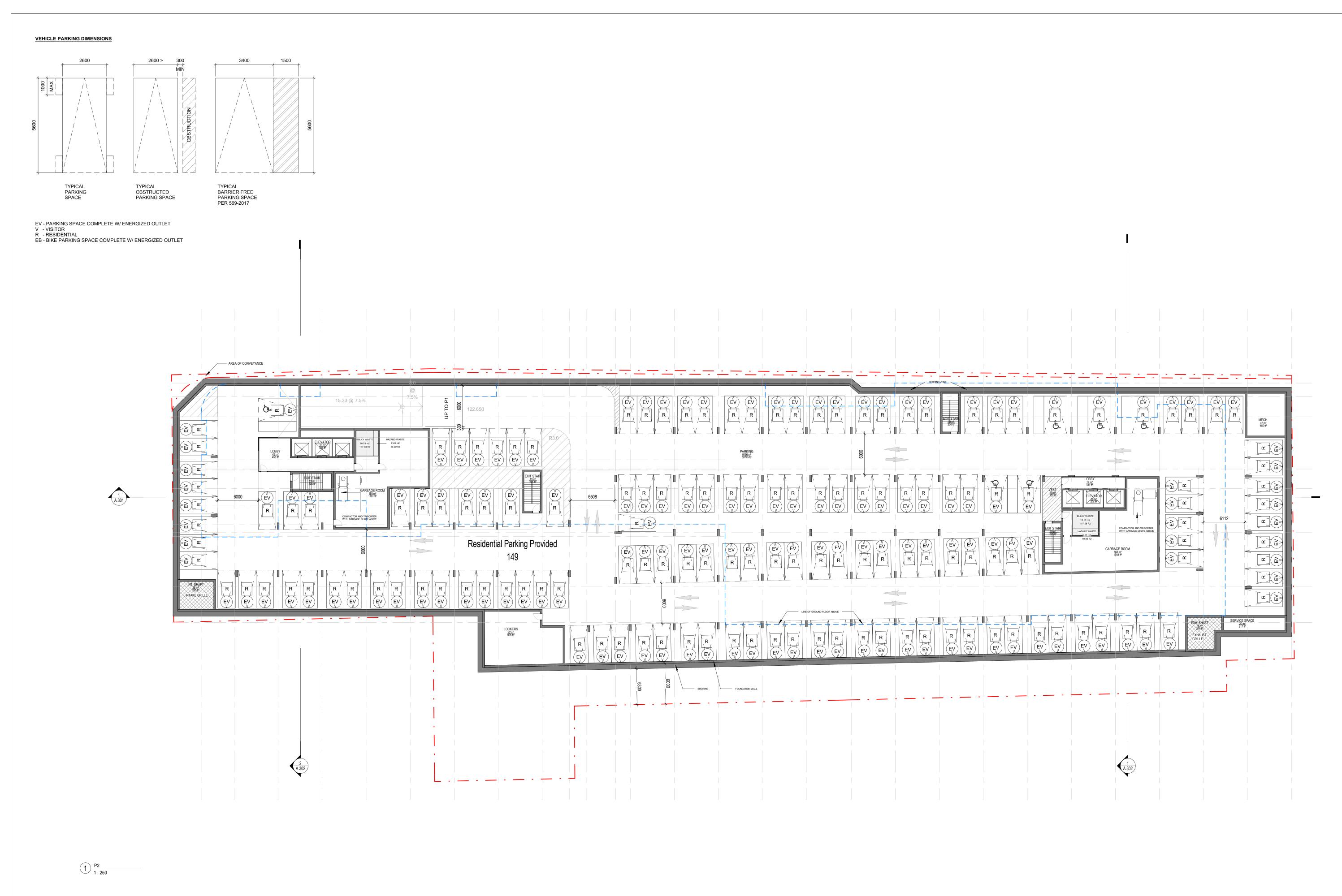
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SITE PLAN

Project No. 2216 Drawing No.

Scale As indicated **A.100**





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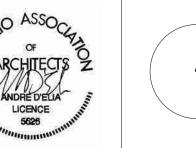
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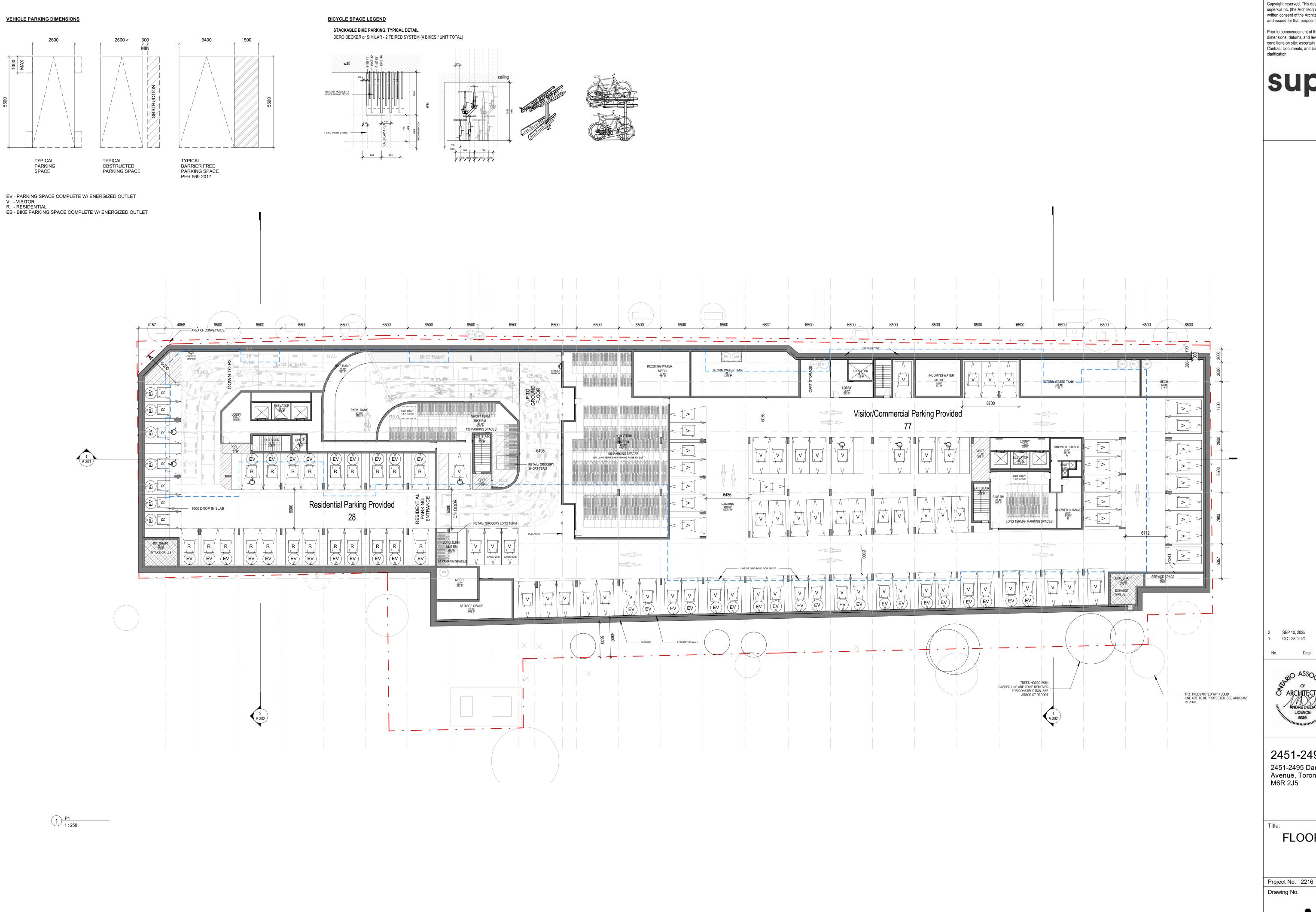
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FLOOR PLAN - P2

Project No. 2216

Drawing No.

Scale As indicated



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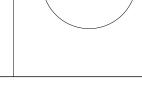
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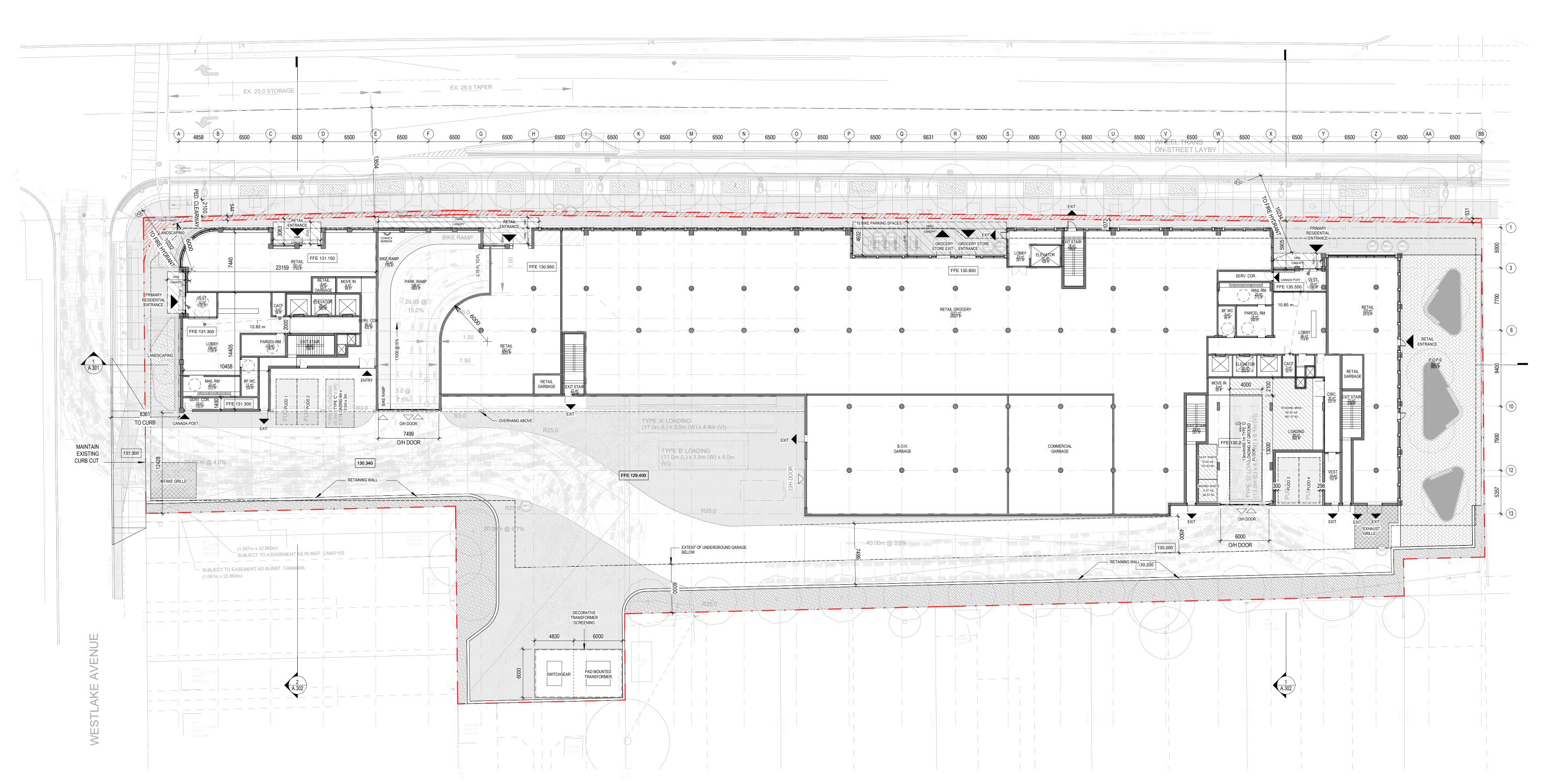


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FLOOR PLAN - P1

Scale As indicated



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PRINCIPAL ENTRY
ENTRY/ EXIT

VEHICULAR ENTRY/ EXIT

FIRE DEPARTMENT CONNECTION

FIRE HYDRANT

MANHOLE COVE

MANHOLE COVER

CATCH BASIN

HYDRO POLE

EL ELECTRICAL STAND

— — EXTENT OF BELOW GRADE

— — — EXTENT OF BELOW GRADE

---- BUILDING ELEMENT ABOVE

OPEN TO BELOW

EXTENT OF GROUND FLOOR

GEODETIC ELEVATION

HT: 12.30 m ELEVATION FROM EXTABLISHED GRADE

78.20 EXISTING GRADE ELEVATION FH

BARRIER FREE TURNING RADIUS

EXISTING BUILDING

PROPERTY CONVEYANCE

PROPERTY LINE

FFE FINISHED FLOOR ELEVATION

TOP TOP OF PARAPET

TOR TOP OF ROOF

TOS TOP OF STRUCTURE

TGS TORONTO GREEN STANDARDS

TPZ TREE PROTECTION ZONE

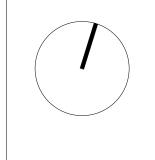
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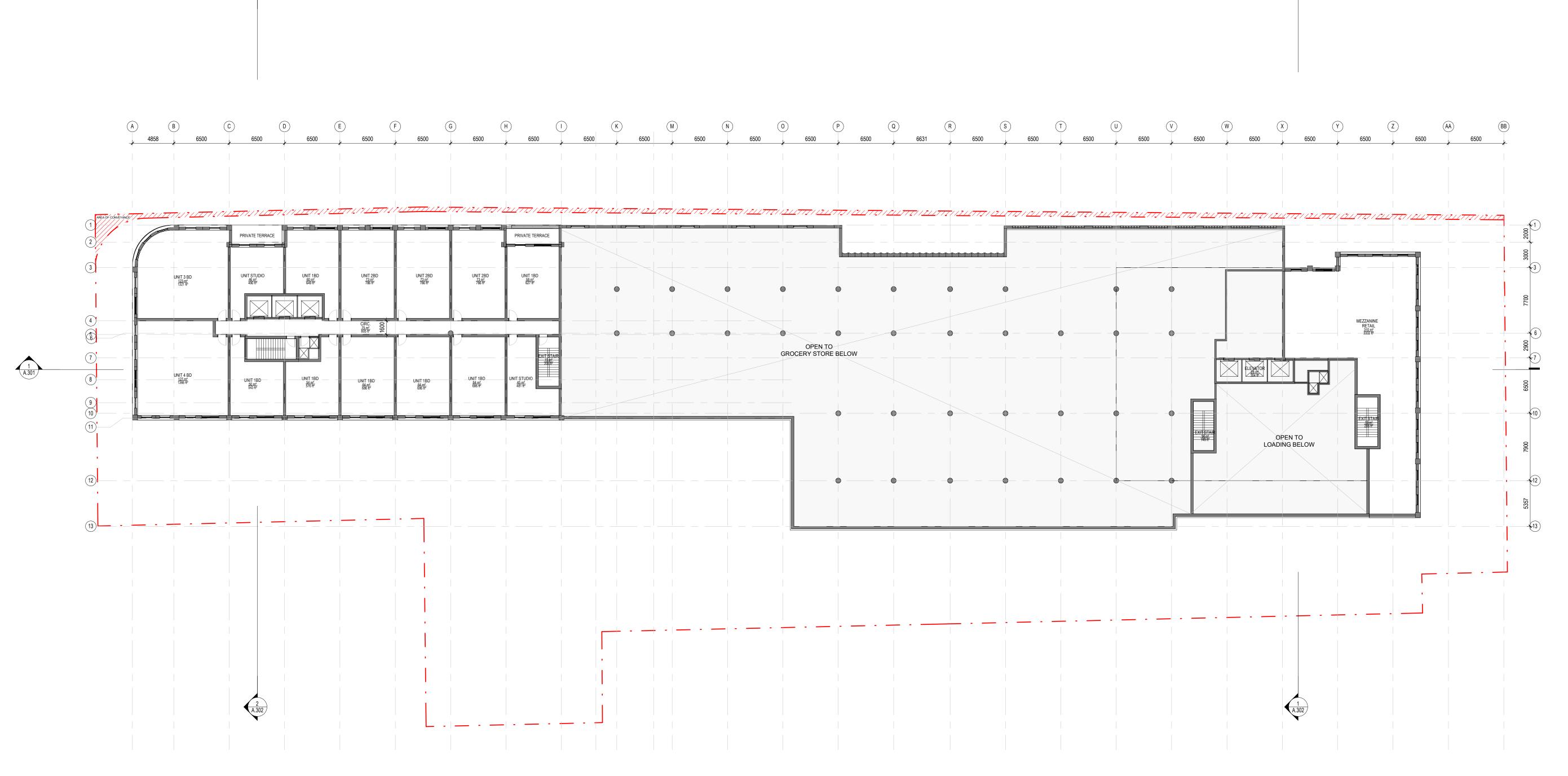
Title

FLOOR PLAN - GROUND FLOOR

Project No. 2216

Drawing No.

Scale As indicated



1 LEVEL 02 1:250

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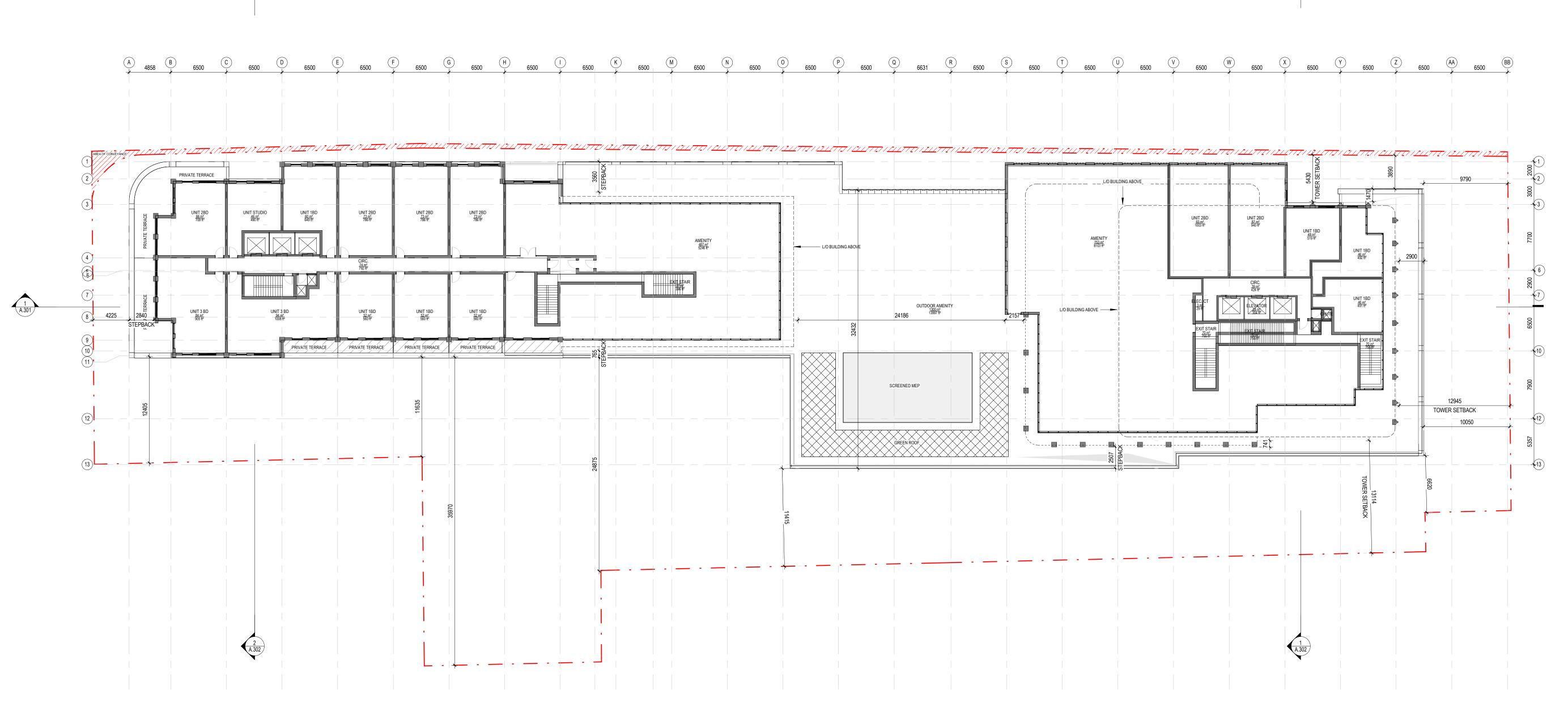


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FLOOR PLAN - LEVEL

Project No. 2216 Scale 1 : 250

Drawing No.



1 LEVEL 03 1: 250

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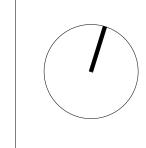
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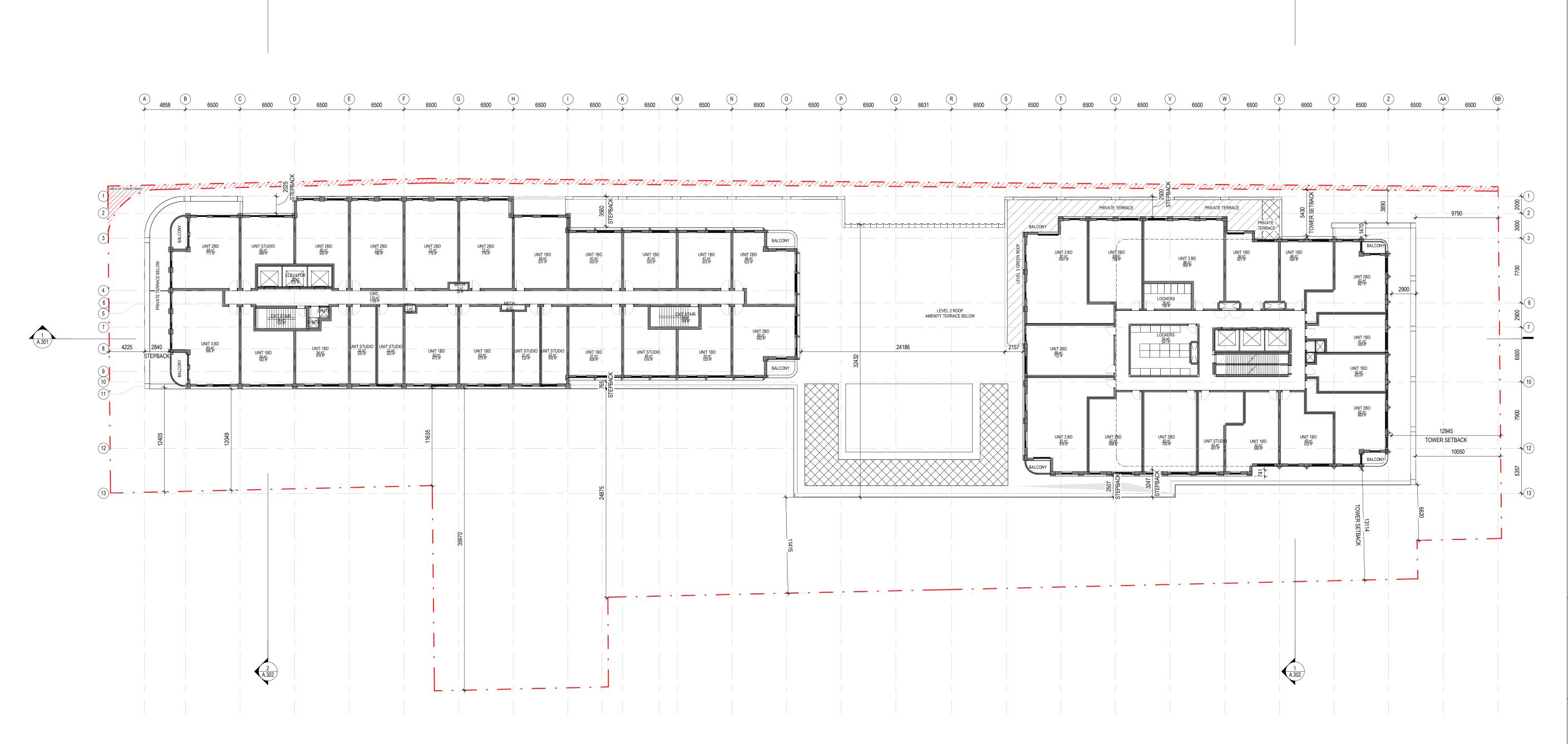
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FLOOR PLAN - LEVEL

Scale 1 : 250 Project No. 2216 Drawing No.



1 LEVEL 04 1 : 250 Copyright reserved. This design and drawings are the exclusive property of superkul inc. (the Architect) and cannot be used for any purpose without the written consent of the Architect. This drawing is not to be used for construction until issued for that purpose by the Architect.

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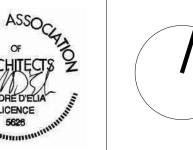
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Title

FLOOR PLAN - LEVEL

Project No. 2216

Drawing No.

Scale 1 : 250

A 4858 B 6500 C 6500 D 6500 F UNIT 2BD 64 m² 686 ft² UNIT 1BD 50 m² 543 ft² TOWER SETBACK

1 LEVEL 07 1:250

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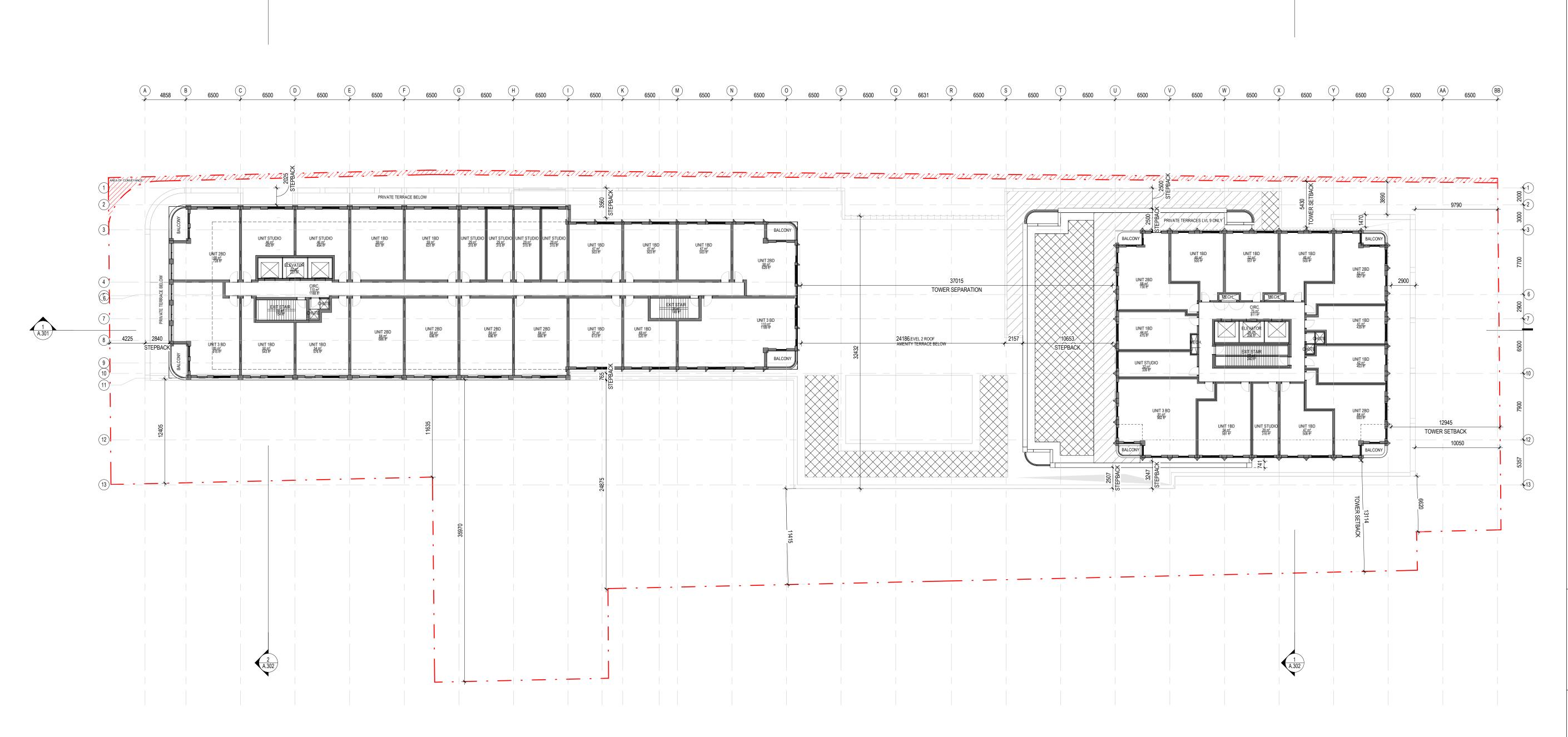
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FLOOR PLAN - LEVEL 05-08

Project No. 2216 Drawing No.

Scale 1 : 250



1 LEVEL 09 1 : 250

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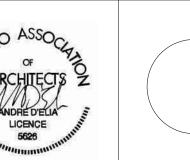
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FLOOR PLAN - LEVEL 09-10

Project No. 2216 Scale 1 : 250 Drawing No.

A 4858 B 6500 C 6500 D 6500 E 6500 F 6500 G 6500 H 6500 K 6500 M PRIVATE TERRACE BELOW TOWER SEPARATION LEVEL 2 ROOF AMENITY TERRACE BELOW UNIT 1BD 57 m² 613 ft² 10653 STÉPBÁCK TOWER SETBACK

1 LEVEL 11 1 : 250

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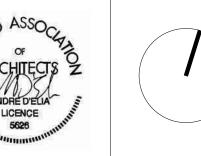
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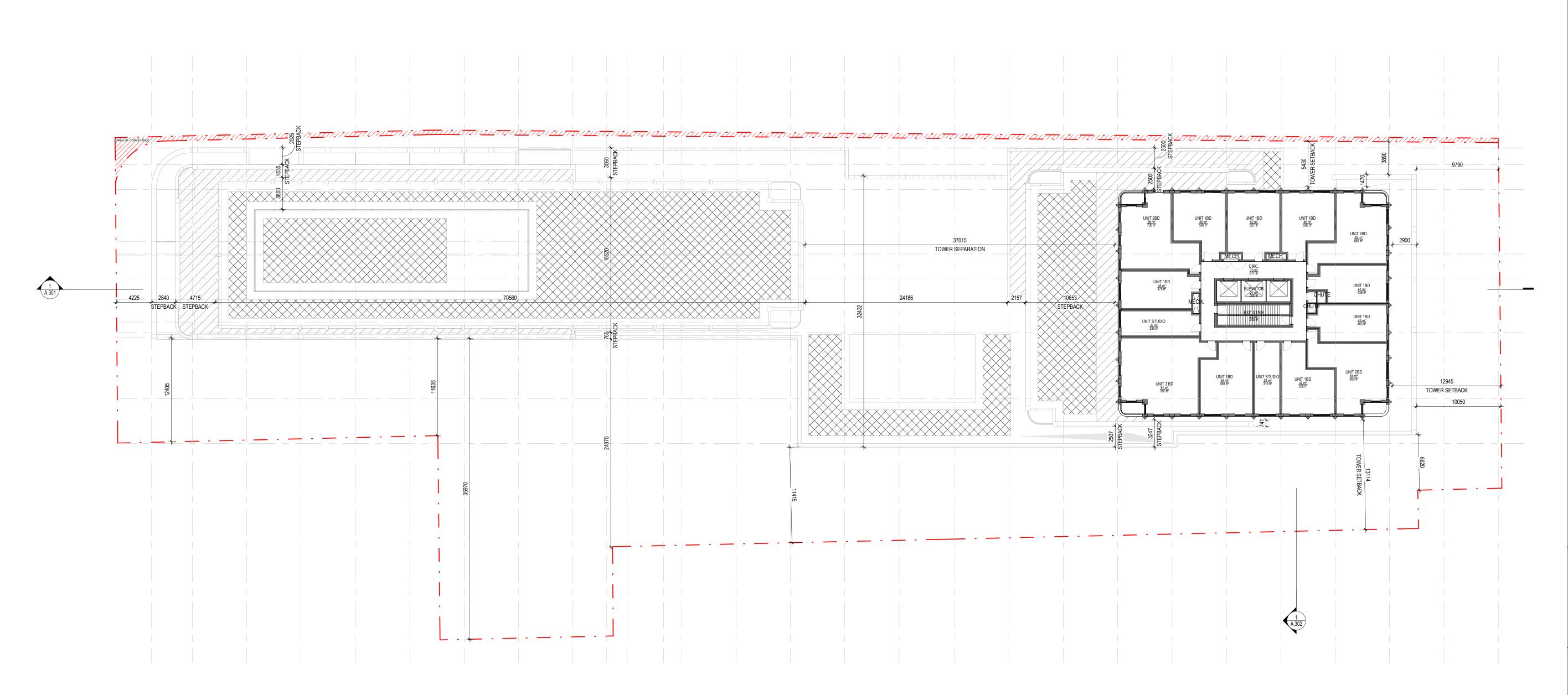


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FLOOR PLAN - LEVEL 11-13

Project No. 2216 Scale 1 : 250 Drawing No.



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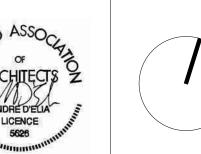
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Title:

FLOOR PLAN - LEVEL 14-29

Project No. 2216 Scale 1 : 250

Drawing No.

GREEN ROOF STATISTICS		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)		41904.6 m ² 613.7 m ²
Total Roof Area (m²)	4231.2 m ²	
Area of Residential Private Terraces (m²)	(0)	
Rooftop Outdoor Amenity Space, if in a Residential Building (m²)		1098.6 m ²
Area of Renewable Energy Devices (m²)		0 m ²
Tower (s)Roof Area with floor plate less than 750 m²		N/A
Total Available Roof Space (m²)		2518.9 m²
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m²)	1511.34 m²	1530.7 m
Coverage of Available Roof Space (%)	60 %	60 %

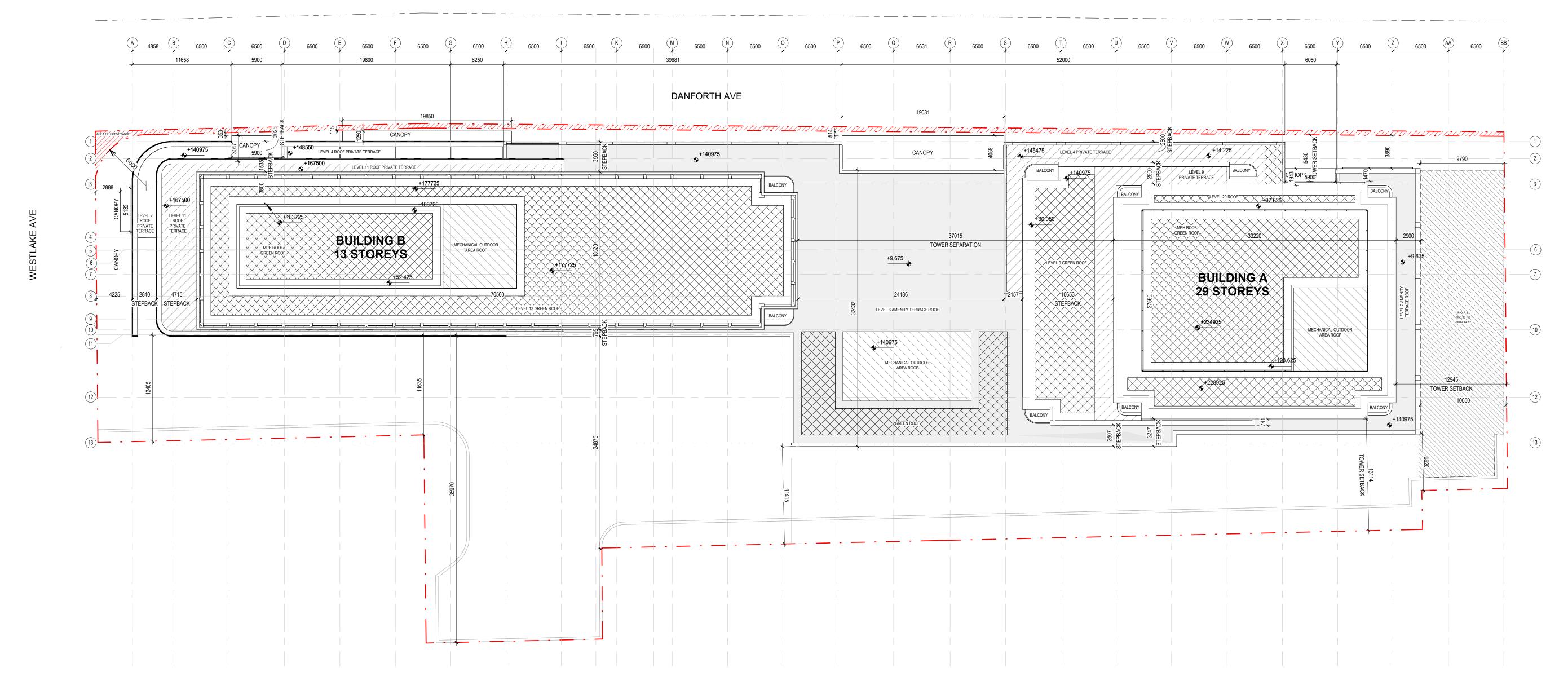
<u>Definitions</u>

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GREEN ROOF - An extension of an above grade roof, built on top of a human-made structure, that allows vegetation to grow in a growing medium and which is designed, constructed and maintained in accordance with the Toronto Green Roof Construction Standard.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

PRIVATE TERRACE - Outdoor amenity area on a roof that is available exclusively for use by the occupants of an abutting residential unit for recreational or social activities.



1 : 250

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ROOF PLAN LEGEND

GREEN ROOF

MECHANICAL

MECHANICAL OUTDOOR ROOF

PRIVATE TERRACE

OUTDOOR AMENITY

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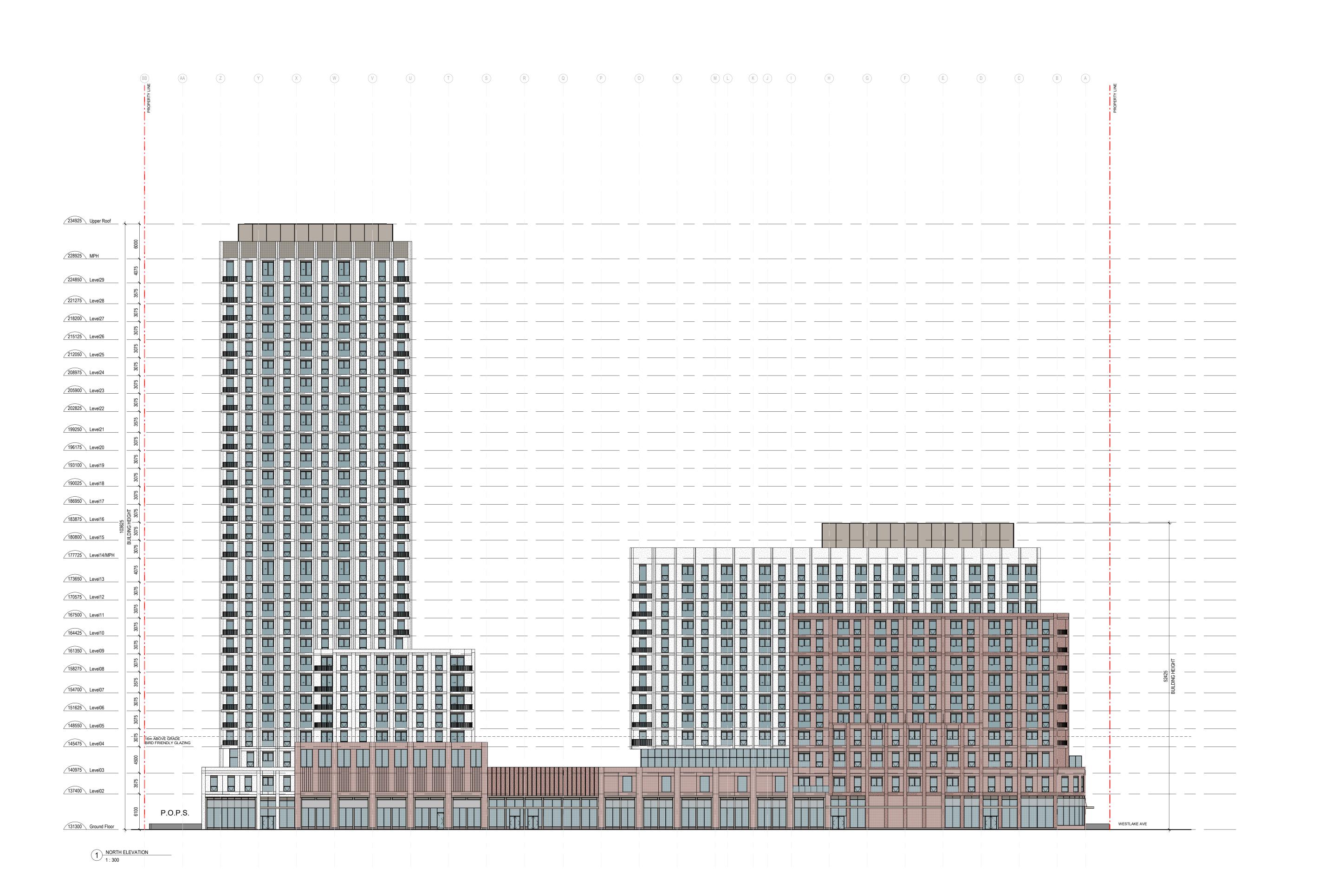
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ROOF PLAN

Project No. 2216

Drawing No.

Scale As indicated



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MAS-1: MASONARY OR PRECAST CLADDING SYSTEM 1

MAS-2: MASONARY OR PRECAST CLADDING SYSTEM 2

STN-1: PRECAST OR STONE CLADDING SYSTEM 1

MP-1: PREFINISHED METAL PANEL SYSTEM 1

GL-2: BIRD SAFE GLASS

GL-1: CLEAR GLASS

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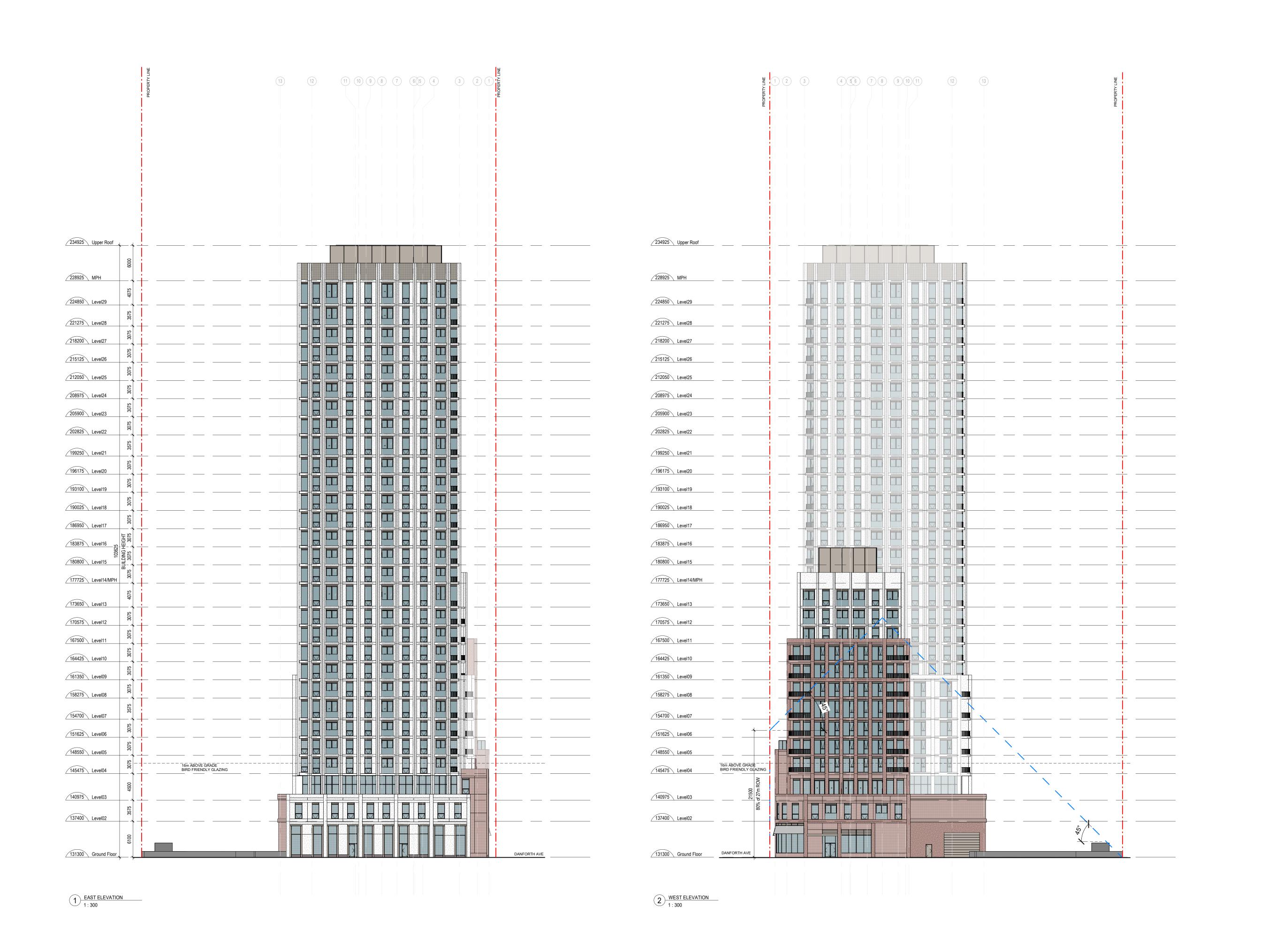
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NORTH ELEVATION

Project No. 2216

Drawing No.

Scale As indicated



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CONCEPTUAL MATERIAL LEGEND

MAS-1: MASONARY OR PRECAST CLADDING SYSTEM 1 MAS-2: MASONARY OR PRECAST

STN-1: PRECAST OR STONE CLADDING SYSTEM 1

MP-1: PREFINISHED METAL

PANEL SYSTEM 1

GL-1: CLEAR GLASS

GL-2: BIRD SAFE GLASS

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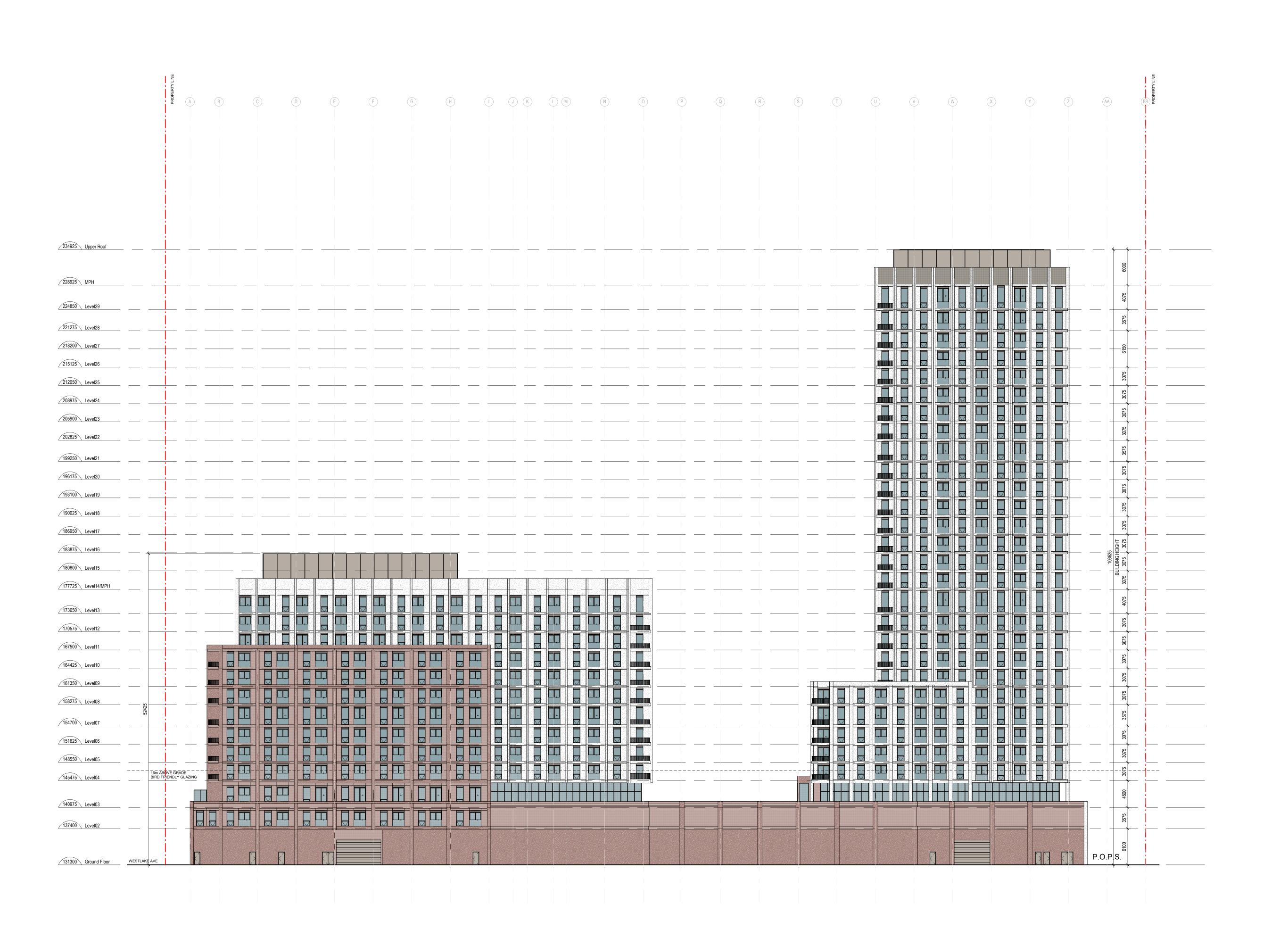
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EAST & WEST ELEVATIONS

Project No. 2216

Drawing No.

Scale As indicated



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CONCEPTUAL MATERIAL LEGEND

MAS-1: MASONARY OR PRECAST CLADDING SYSTEM 1

MAS-2: MASONARY OR PRECAST

STN-1: PRECAST OR STONE CLADDING SYSTEM 1

CLADDING SYSTEM 2

MP-1: PREFINISHED METAL PANEL SYSTEM 1

GL-1: CLEAR GLASS

GL-1. CLEAR GLASS

GL-2: BIRD SAFE GLASS

2 SEP 10, 2025 1 OCT 28, 2024 Re-Issued for OPA and ZBA Issued for OPA and ZBA

Issue/Revision



2451-2495 Danforth

2451-2495 Danforth Avenue, Toronto, ON M6R 2J5

Title

SOUTH ELEVATION

Project No. 2216

Drawing No.

Scale As indicated

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Street Elevation on Danforth



Rhythm on Danforth



Street Elevation on Danforth



Street Elevation on Danforth

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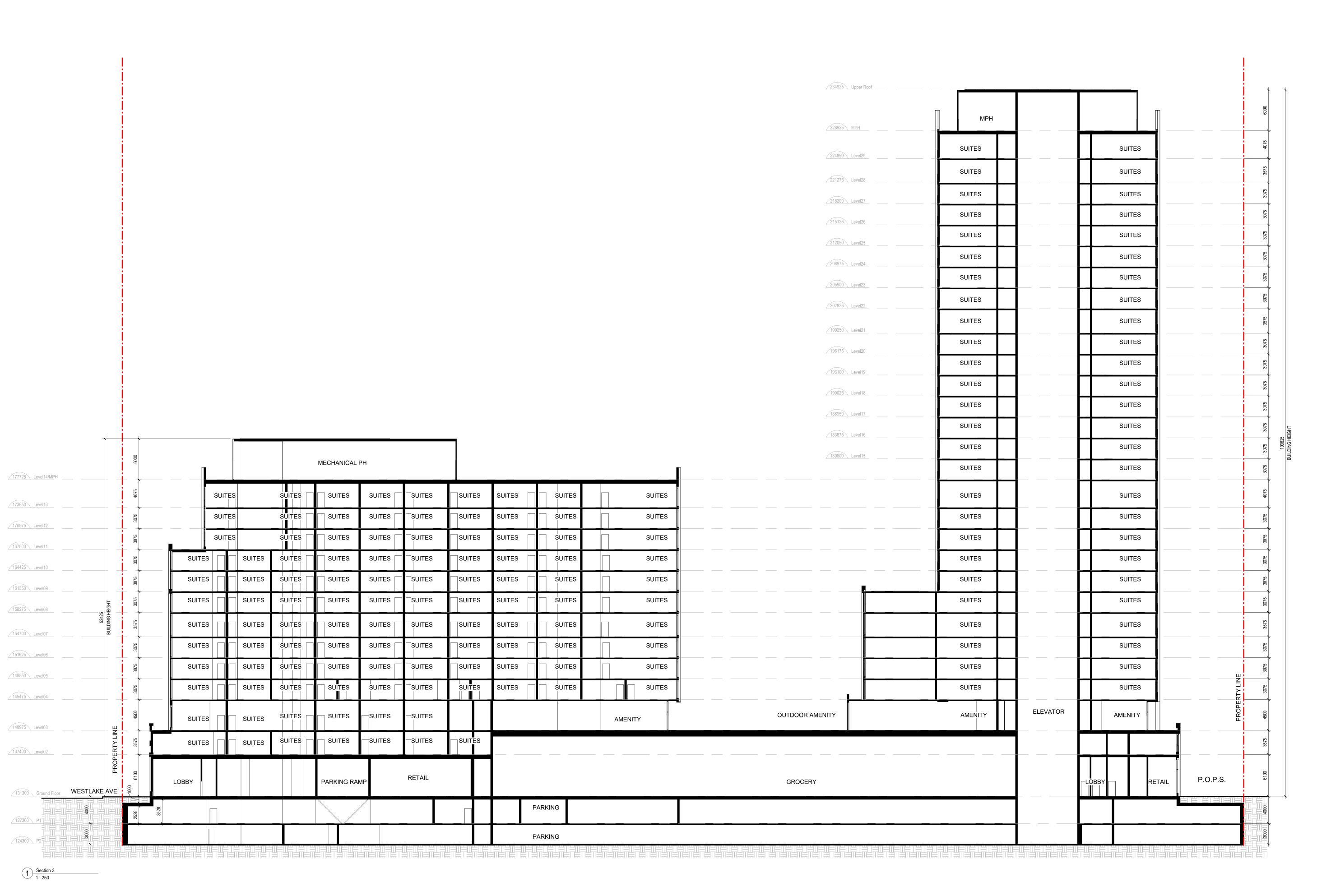


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ELEVATION STUDIES

Project No. 2216 Drawing No.

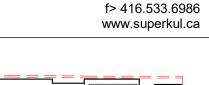


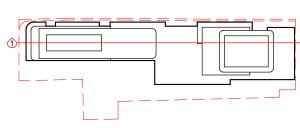
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Title:

BUILDING SECTION

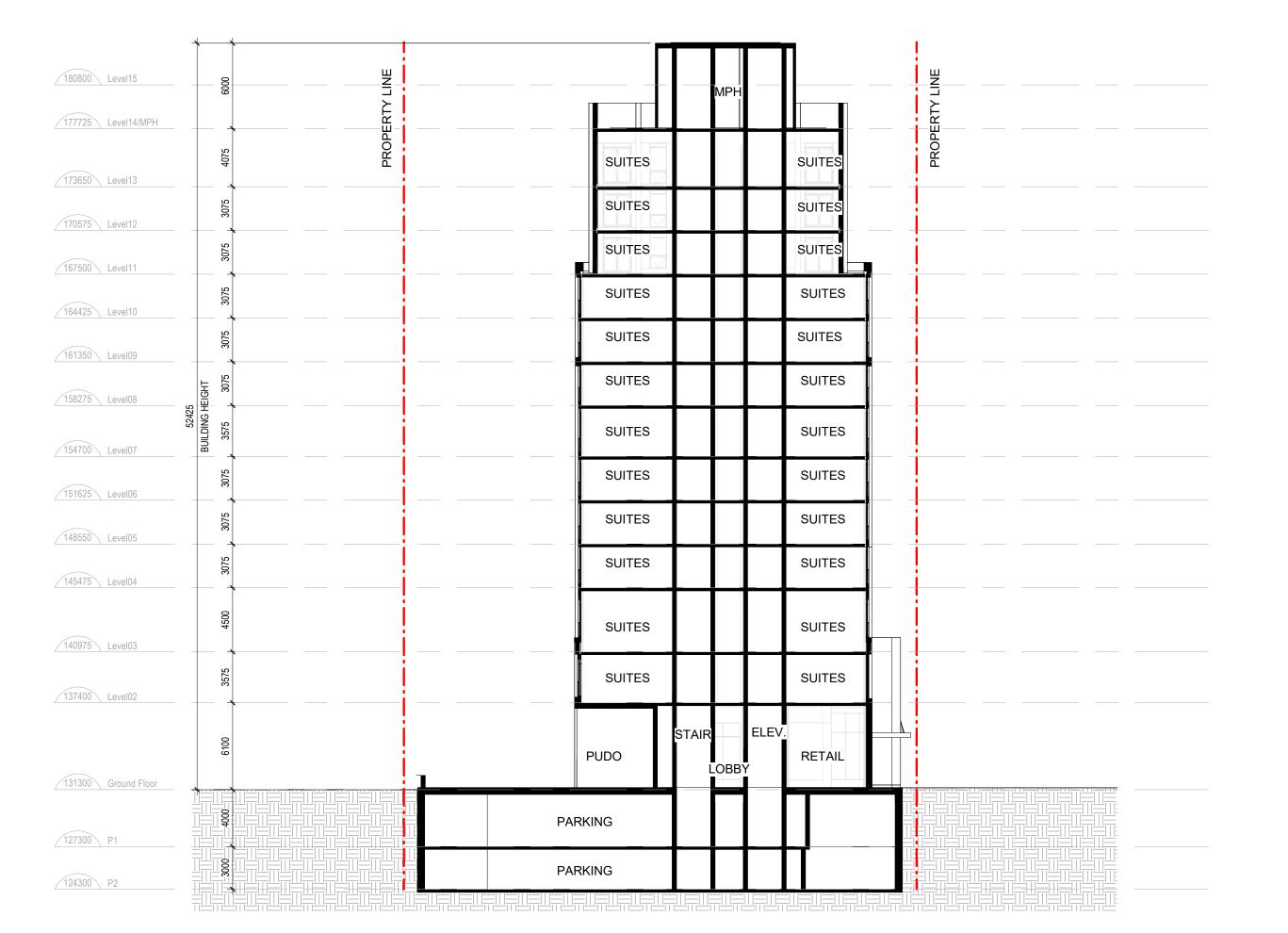
Project No. 2216

Drawing No.

2216 Scale As indicated

A 301

234925 Upper Roof MECHANICAL PH 228925 MPH SUITES SUITES 224850 Level29 SUITES SUITES 221275 Level28 SUITES SUITES 218200 Level27 SUITES SUITES 215125 Level26 SUITES SUITES 212050 Level25 SUITES SUITES 208975 Level24 SUITES SUITES 205900 Level23 SUITES SUITES 202825 Level22 SUITES SUITES 199250 Level21 SUITES SUITES 196175 Level20 SUITES SUITES 193100 Level19 SUITES SUITES 190025 Level18 SUITES SUITES 186950 Level17 SUITES SUITES 183875 Level16 SUITES SUITES 180800 Level15 SUITES SUITES 177725 Level14/MPH SUITES SUITES 173650 Level13 SUITES SUITES 170575 Level12 SUITES SUITES 167500 Level11 SUITES SUITES 164425 Level10 SUITES SUITES 161350 Level09 SUITES SUITES 158275 Level08 SUITES SUITES 154700 Level07 SUITES SUITES 151625 Level06 SUITES SUITES 148550 Level05 SUITES SUITES 145475 Level04 **AMENITY AMENITY** 140975 Level03 137400 Level02 LOADING LOBBY 131300 Ground Floor | **|** | Parking 127300 P1 PARKING 124300 P2

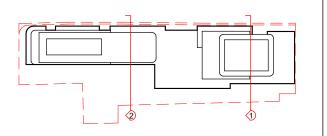


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