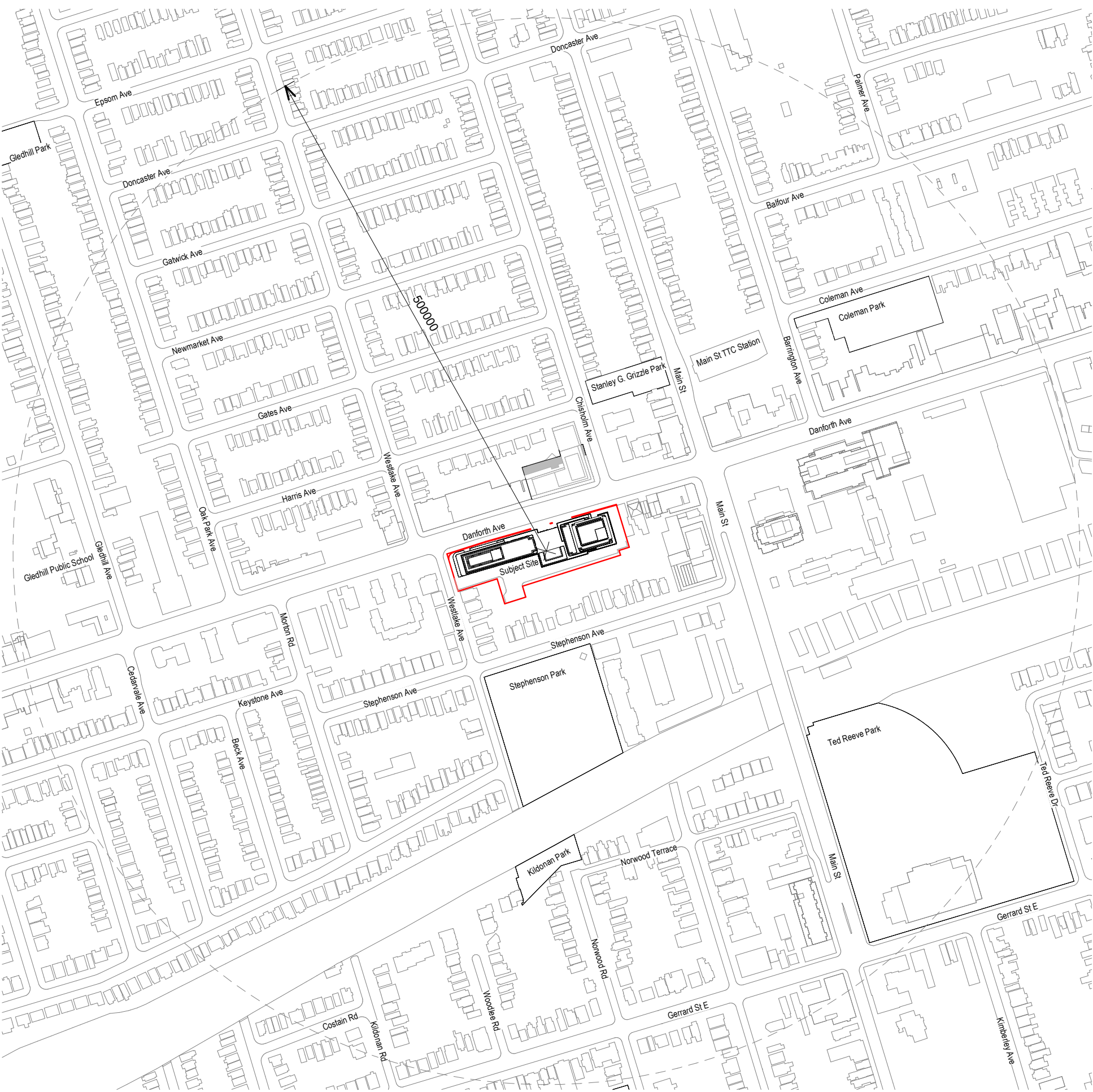


2451-2495 Danforth



1 Context Plan
1 : 4000

DRAWING NUMBER	DRAWING TITLE
A.000	COVER SHEET
A.001	PROJECT STATISTICS
A.002	PERSPECTIVE VIEWS
A.003	GFA DIAGRAMS PER ZBL 569-2013
A.004	GFA DIAGRAMS PER ZBL 569-2013
A.005	GFA DIAGRAMS PER ZBL 569-2013
A.006	SETBACK DIAGRAM
A.100	SITE PLAN
A.101	FLOOR PLAN - P2
A.102	FLOOR PLAN - P1
A.103	FLOOR PLAN - GROUND FLOOR
A.104	FLOOR PLAN - LEVEL 02
A.105	FLOOR PLAN - LEVEL 03
A.106	FLOOR PLAN - LEVEL 04
A.107	FLOOR PLAN - LEVEL 05-08
A.108	FLOOR PLAN - LEVEL 09-10
A.109	FLOOR PLAN - LEVEL 11-13
A.110	FLOOR PLAN - LEVEL 14-29
A.111	ROOF PLAN
A.201	NORTH ELEVATION
A.202	EAST & WEST ELEVATIONS
A.203	SOUTH ELEVATION
A.204	ELEVATION STUDIES
A.301	BUILDING SECTION
A.302	BUILDING SECTION

CLIENT

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ISSUED FOR OPA AND ZBA - SEPTEMBER 10, 2025

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Prior to commencement of the Work the Contractor shall verify all drawing dimensions, datums, and levels with the Contract Documents and with the conditions on site, ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for clarification.

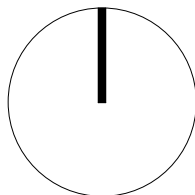
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2 SEP 10, 2025 Re-Issued for OPA and ZBA
1 OCT 28, 2024 Issued for OPA and ZBA

No. Date Issue/Revision



2451-2495 Danforth
2451-2495 Danforth
Avenue, Toronto, ON
M6R 2J5

Title:
COVER SHEET

Project No. 2216 Scale 1 : 4000

Drawing No.

A.000



Statistics Template – Toronto Green Standard Version 4.0

City Agency, Corporation & Division-Owned Facilities

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed	
Total Gross Floor Area	42493.2 m²	457393.4 ft²
Breakdown of project components (m²):		
Retail GROCERY GFA:	2276.8 m²	24507.3 ft²
Commercial TOTAL RETAIL GFA:	943.1 m²	10152.0 ft² (EXCLUDING GROCERY)
Industrial		
Institutional/Other		
Total number of residential units	620	

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	8	254	>100%
Number of EV Parking Spaces (Residential)	177	177	100%
Number of EV Parking Spaces (Non - Residential)	20	20	100%

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	565	567	>100%
Number of long-term bicycle parking located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground		567	100%
d) second level below-ground			
e) other levels below-ground			
Number of short-term bicycle parking spaces	147	147	100%
Number of shower and change facilities	2	2	



Page 1 of 3



Statistics Template – Toronto Green Standard Version 4.0

City Agency, Corporation & Division-Owned Facilities

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m² x 30 m³)	1387 m3	1387 m3	100%
Soil volume provided within the site area (m³)		869.4 m3	
Soil Volume provided within the public boulevard (m³)		517.6 m3	

Definitions

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GREEN ROOF - An extension of an above grade roof, built on top of a human-made structure, that allows vegetation to grow in a growing medium and which is designed, constructed and maintained in accordance with the Toronto Green Roof Construction Standard.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

PRIVATE TERRACE - Outdoor amenity area on a roof that is available exclusively for use by the occupants of an abutting residential unit for recreational or social activities.

GREEN ROOF STATISTICS			Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)			41904.6 m²
Total Roof Area (m²)			613.7 m²
Area of Residential Private Terraces (m²)			4231.2 m²
Rooftop Outdoor Amenity Space, if in a Residential Building (m²)			1098.6 m²
Area of Renewable Energy Devices (m²)			0 m²
Tower (s)Roof Area with floor plate less than 750 m²			N/A
Total Available Roof Space (m²)			2518.9 m²
Green Roof Coverage	Required	Proposed	
Coverage of Available Roof Space (m²)	1511.34 m²	1530.7 m²	
Coverage of Available Roof Space (%)	60 %	60 %	

GCA AND GFA BREAKDOWN							PROJECT STATISTICS SUMMARY							
		GROSS CONSTRUCTION AREA		ZBL 569-2013 EXCLUSIONS		CITY WIDE BY-LAW 569-2013 GROSS FLOOR AREA		NUMBER OF FLOORS: 13/29		FSI (GFA/LOT AREA):		5.62		
BELOW GRADE							GROSS CONSTRUCTION AREA (GCA) ABOVE GRADE:		46594.9 m²		501543.3 ft²			
Level	GCA, m2	GCA, sf	GFA Exclusion, m2	GFA Exclusion, sf	GFA, m2	GFA, sf	TOTAL GROSS FLOOR AREA (GFA): <small>*as defined in ZBL 569-2013</small>						42493.2 m²	457393.4 ft²
P2	6202.9 m²	66768.0 ft²	5803.6 m²	62469.7 ft²	399.3 m²	4298.3 ft²	RESIDENTIAL GFA:						39273.3 m²	422734.2 ft²
P1	6161.4 m²	66321.2 ft²	5946.2 m²	64004.7 ft²	215.2 m²	2316.5 ft²	RETAIL GFA:						943.1 m²	10152.0 ft²
Grand total	12364.4 m²	133089.2 ft²	11749.9 m²	126474.5 ft²	614.5 m²	6614.7 ft²	GROCERY STORE GFA:						2276.8 m²	24507.3 ft²
ABOVE GRADE							POPS AREA:		353.9 m²		3809.4 ft²			
Level	GCA, m2	GCA, sf	GFA Exclusion, m2	GFA Exclusion, sf	GFA, m2	GFA, sf	LOT AREA:		7,724 m²					
Ground Floor	3987.6 m²	42922.7 ft²	478.1 m²	5146.2 ft²	3509.5 m²	37776.5 ft²	CONVEYANCES AREA:		168m²					
Level02	1479.1 m²	15920.5 ft²	122.0 m²	1313.0 ft²	1357.1 m²	14607.6 ft²	ADJUSTED LOT AREA:		7,556m²					
Level03	2700.9 m²	29071.8 ft²	1540.4 m²	16580.4 ft²	1160.5 m²	12491.4 ft²	NUMBER OF RESIDENTIAL UNITS:		620					
Level04	2701.8 m²	29082.4 ft²	102.5 m²	1102.8 ft²	2599.4 m²	27979.6 ft²	NUMBER OF AFFORDABLE UNITS:				*Affordable Units Note: To be provided in accordance with statutory Z requirements. Number of units to be reviewed during the Site Plan Approval process.			
Level05	2650.2 m²	28526.4 ft²	102.5 m²	1102.8 ft²	2547.7 m²	27423.6 ft²								
Level06	2650.2 m²	28526.4 ft²	102.5 m²	1102.8 ft²	2547.7 m²	27423.6 ft²								
Level07	2650.2 m²	28526.4 ft²	102.5 m²	1102.8 ft²	2547.7 m²	27423.6 ft²								
Level08	2650.2 m²	28526.4 ft²	102.5 m²	1102.8 ft²	2547.7 m²	27423.6 ft²								
Level09	2266.2 m²	24393.3 ft²	102.5 m²	1102.8 ft²	2163.8 m²	23290.5 ft²								
Level10	2266.2 m²	24393.3 ft²	102.5 m²	1102.8 ft²	2163.8 m²	23290.5 ft²								
Level11	2056.7 m²	22138.0 ft²	104.4 m²	1123.3 ft²	1952.3 m²	21014.7 ft²								
Level12	2056.7 m²	22138.0 ft²	104.4 m²	1123.3 ft²	1952.3 m²	21014.7 ft²								
Level13	2056.7 m²	22138.0 ft²	104.4 m²	1123.3 ft²	1952.3 m²	21014.7 ft²								
Level14/MPH	1159.4 m²	12480.1 ft²	349.4 m²	3760.7 ft²	810.1 m²	8719.4 ft²								
Level15	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level16	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level17	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level18	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level19	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level20	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level21	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level22	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level23	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level24	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level25	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level26	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level27	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level28	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
Level29	850.6 m²	9156.0 ft²	49.4 m²	531.2 ft²	801.3 m²	8624.8 ft²								
MPH	503.5 m²	5419.6 ft²	455.9 m²	4907.0 ft²	47.6 m²	512.6 ft²								
Grand total	46594.9 m²	501543.3 ft²	4716.2 m²	50764.7 ft²	41878.7 m²	450778.7 ft²								
BUILDING A*: SEE UNIT MIX CHAIRMAN GREY AREA							Level		Residential GFA, m2		Residential GFA, sf		Count	
Level03									320.0 m²		3444.8 ft²		5	
Level04									992.5 m²		10683.0 ft²		16	
Level05									992.5 m²		10683.0 ft²		16	
Level06									992.5 m²		10683.0 ft²		16	
Level07									992.5 m²		10683.0 ft²		16	
Level08									992.5 m²		10683.0 ft²		16	
Level09									719.1 m²		7740.2 ft²		14	
Level10									719.1 m²		7740.2 ft²		14	
Level11									719.1 m²		7740.2 ft²		14	
Level12									719.1 m²		7740.2 ft²		14	
Level13									719.1 m²		7740.2 ft²		14	
Level14/MPH									719.1 m²		7740.2 ft²		14	
Level15									719.1 m²		7740.2 ft²		14	
Level16									719.1 m²		7740.2 ft²		14	
Level17									719.1 m²		7740.2 ft²		14	
Level18									719.1 m²		7740.2 ft²		14	
Level19									719.1 m²		7740.2 ft²		14	
Level20									719.1 m²		7740.2 ft²		14	
Level21									719.1 m²		7740.2 ft²		14	
Level22									719.1 m²		7740.2 ft²		14	
Level23									719.1 m²		7740.2 ft²		14	
Level24									719.1 m²		7740.2 ft²		14	
Level25									719.1 m²		7740.2 ft²		14	
Level26									719.1 m²		7740.2 ft²		14	
Level27									719.1 m²		7740.2 ft²		14	
Level28									719.1 m²		7740.2 ft²		14	
Level29									719.1 m²		7740.2 ft²		14	
MPH									719.1 m²		7740.2 ft²		14	
Grand total									719.1 m²		7740.2 ft²		14	

DEFINITIONS		CAR PARKING																																																									
<p>From the City of Toronto ZBL 569-2013:</p> <p>In the Residential Zone category, the Gross Floor Area of an apartment building is reduced by the area in the building used for:</p> <p>(A) parking, loading and bicycle parking below established grade;</p> <p>(B) required loading spaces and required bicycle parking spaces at or above established grade;</p> <p>(C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;</p> <p>(D) shower and change facilities and bicycle maintenance facilities required by this By-law for required bicycle parking spaces; (By-law: B39-2022)</p> <p>(E) indoor amenity space required by this By-law;</p> <p>(F) elevator shafts;</p> <p>(G) garbage shafts;</p> <p>(H) mechanical penthouses; and</p> <p>(I) exit stairwells in the building.</p> <p>Floor Space Index Calculation</p> <p>In the Residential Zone category, the floor space index:</p> <p>(A) for a non-residential building, is the result of the gross floor area of a building divided by the area of the lot;</p> <p>(B) for a residential building, other than an apartment building, is the result of the gross floor area, plus the area of an attic described in regulation 10.5.40.40(1) and subject to regulation 10.5.40.40(2) minus the areas listed in regulation 10.5.40.40(3), divided by the area of the lot; and</p> <p>(C) for an apartment building, is the result of the gross floor area, minus the areas of an apartment building listed in regulation 10.5.40.40(4), divided by the area of the lot.</p>		<table><tr><th>Level</th><th>Visitor/Commercial Parking Provided</th><th>Visitor/Commercial Parking Required</th><th>Car-Share Provided</th></tr><tr><td>P1</td><td>77</td><td>8</td><td>2</td></tr></table> <p>*required visitor parking = 2 + (0.01 per unit)</p> <table><tr><th>Level</th><th>Residential Parking Provided</th></tr><tr><td>P2</td><td>149</td></tr><tr><td>P1</td><td>28</td></tr><tr><td></td><td>177</td></tr></table> <table><tr><th>Total Parking Provided</th></tr><tr><td>254</td></tr></table>				Level	Visitor/Commercial Parking Provided	Visitor/Commercial Parking Required	Car-Share Provided	P1	77	8	2	Level	Residential Parking Provided	P2	149	P1	28		177	Total Parking Provided	254																																				
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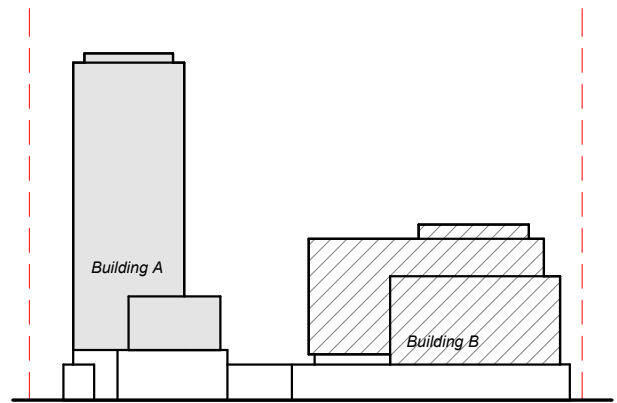
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UNIT MIX DIAGRAM

BUILDING A*: SEE UNIT MIX DIAGRAM GREY AREA			
Level	Residential GFA, m2	Residential GFA, sf	Count
Level03	320.0 m²	3444.8 ft²	5
Level04	992.5 m²	10683.0 ft²	16
Level05	992.5 m²	10683.0 ft²	16
Level06	992.5 m²	10683.0 ft²	16
Level07	992.5 m²	10683.0 ft²	16
Level08	992.5 m²	10683.0 ft²	16
Level09	719.1 m²	7740.2 ft²	14
Level10	719.1 m²	7740.2 ft²	14
Level11	719.1 m²	7740.2 ft²	14
Level12	719.1 m²	7740.2 ft²	14
Level13	719.1 m²	7740.2 ft²	14
Level14/MPH	719.1 m²	7740.2 ft²	14
Level15	719.1 m²	7740.2 ft²	14
Level16	719.1 m²	7740.2 ft²	14
Level17	719.1 m²	7740.2 ft²	14
Level18	719.1 m²	7740.2 ft²	14
Level19	719.1 m²	7740.2 ft²	14
Level20	719.1 m²	7740.2 ft²	14
Level21	719.1 m²	7740.2 ft²	14
Level22	719.1 m²	7740.2 ft²	14
Level23	719.1 m²	7740.2 ft²	14
Level24	719.1 m²	7740.2 ft²	14
Level25	719.1 m²	7740.2 ft²	14
Level26	719.1 m²	7740.2 ft²	14
Level27	719.1 m²	7740.2 ft²	14
Level28	719.1 m²	7740.2 ft²	14
Level29	719.1 m²	7740.2 ft²	14
	20383.2 m²	219403.1 ft²	379



VIEW OF POPS AND RETAIL SPACE ON DANFORTH AVE



VIEW FROM THE CORNER OF DANFORTH AVE AND WESTLAKE AVE



VIEW OF NORTH ELEVATION ON DANFORTH AVE

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No. Date Issue/Revision



2451-2495 Danforth
2451-2495 Danforth
Avenue, Toronto, ON
M6R 2J5

Title:
PERSPECTIVE VIEWS

Project No. 2216 Scale

Drawing No.

A.002

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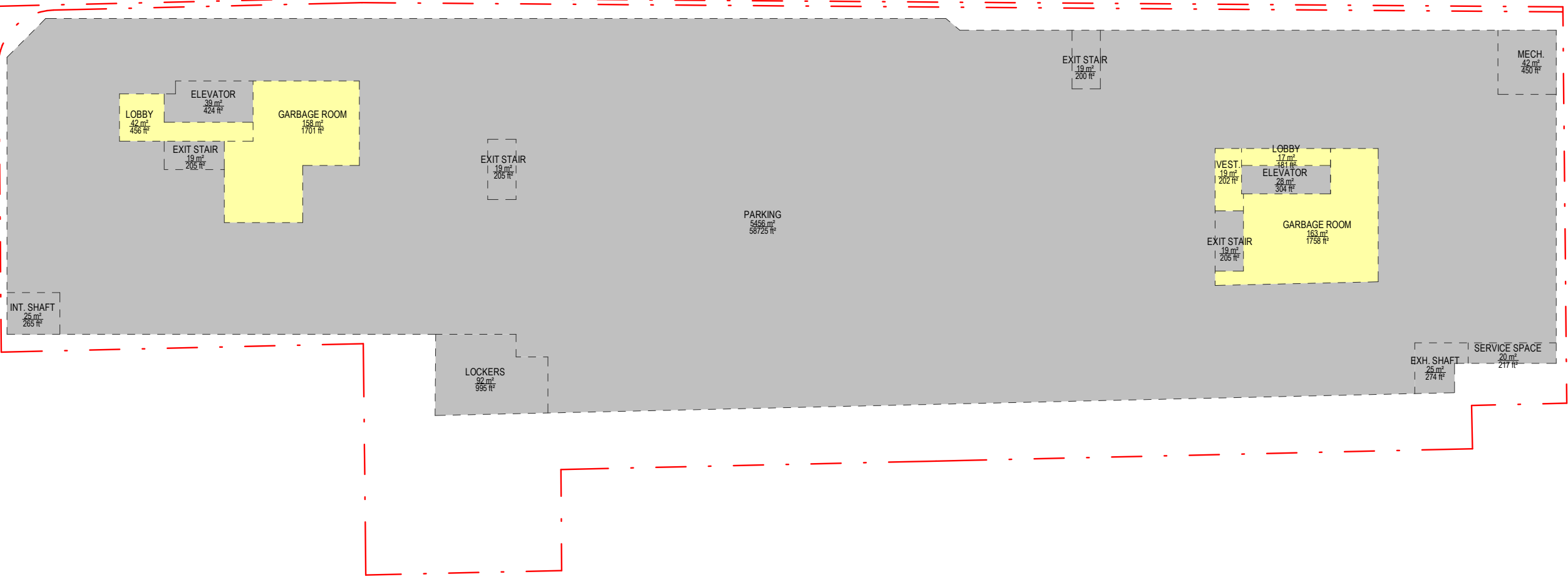
GROSS FLOOR AREA (ZBL 569-2013)

GROSS FLOOR AREA (ZBL 569-2013)
 569-2013 EXCLUSION

Gross Floor Area Calculations for an Apartment Building in the Commercial Residential Zone Category per ZBL 569-2013, Section 40.5.40.40 (3).

In the Commercial Residential Zone category the gross floor area of an apartment building is reduced by the area in the building used for:

(A) parking, loading and bicycle parking below-ground;
(B) required loading spaces at the ground level and required bicycle parking spaces at or above ground;
(C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
(D) shower and change facilities required by the By-law for required bicycle parking spaces;
(E) amenity spaces required by this By-law;
(F) elevator shafts;
(G) garbage shafts;
(H) mechanical penthouses; and
(I) self stairwells in the building.

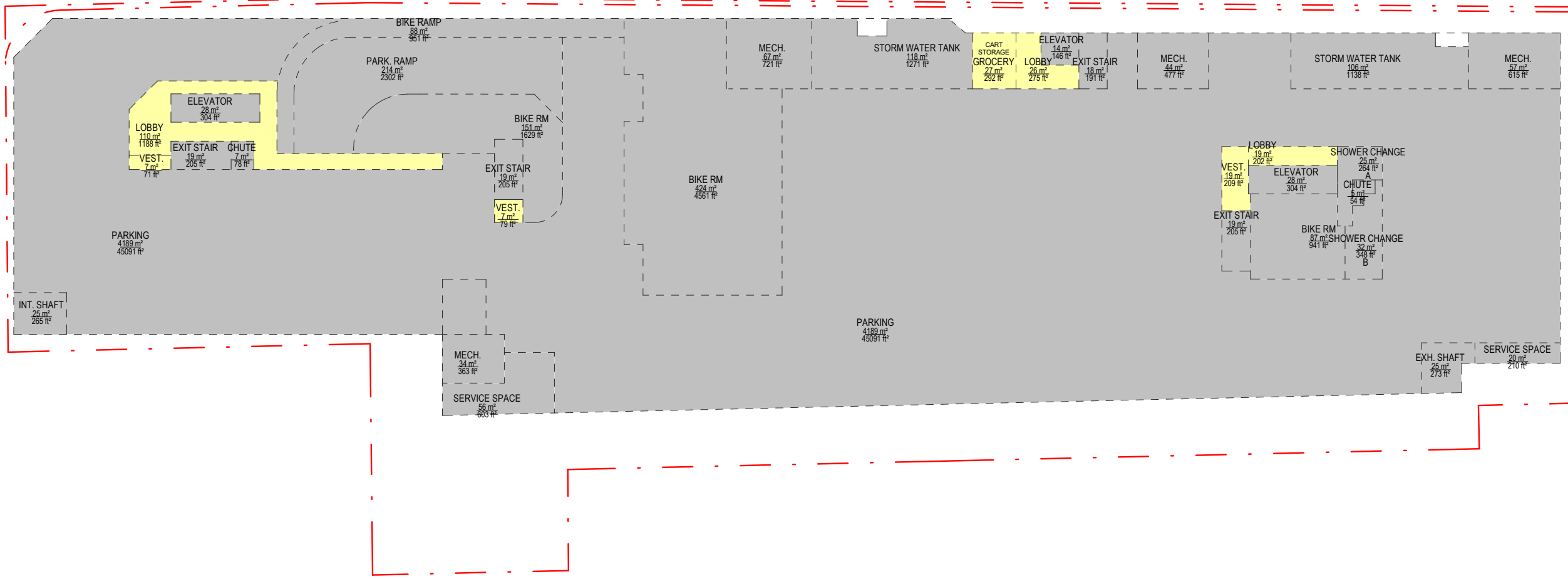


1 GFA Level P2
1 : 500

GFA EXCLUSION PER ZBL-569-2013 LEVEL P2	
Name	Area
ELEVATOR	39.4 m²
EXH. SHAFT	28.2 m²
EXIT STAIR	25.4 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	18.6 m²
INT. SHAFT	24.6 m²
LOCKERS	92.4 m²
MECH.	41.8 m²
PARKING	5455.7 m²
SERVICE SPACE	20.2 m²
Grand total	5803.6 m²

GFA PER ZBL-569-2013 LEVEL P2	
Name	Area
GARBAGE ROOM	163.3 m²
GARBAGE ROOM	158.1 m²
LOBBY	42.4 m²
LOBBY	16.8 m²
VEST.	18.8 m²
Grand total	399.3 m²

GROSS CONSTRUCTION AREA (GCA) - LEVEL P2	
Name	Area
ELEVATOR	39.4 m²
ELEVATOR	28.2 m²
EXH. SHAFT	25.4 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	18.6 m²
EXIT STAIR	19.1 m²
GARBAGE ROOM	163.3 m²
GARBAGE ROOM	158.1 m²
INT. SHAFT	24.6 m²
LOBBY	42.4 m²
LOBBY	16.8 m²
LOCKERS	92.4 m²
MECH.	41.8 m²
PARKING	5455.7 m²
SERVICE SPACE	20.2 m²
VEST.	18.8 m²
Grand total	6202.9 m²



2 GFA Level P1
1 : 500

GFA EXCLUSION PER ZBL-569-2013 LEVEL P1	
Name	Area
BIKE RAMP	88.4 m²
BIKE RM	423.7 m²
BIKE RM	151.3 m²
BIKE RM	87.5 m²
BIKE RM	26.7 m²
CHUTE	7.2 m²
CHUTE	5.0 m²
ELEVATOR	28.2 m²
ELEVATOR	28.2 m²
ELEVATOR	13.5 m²
EXH. SHAFT	25.4 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	17.7 m²
INT. SHAFT	24.6 m²

GFA EXCLUSION PER ZBL-569-2013 LEVEL P1	
Name	Area
MECH.	67.0 m²
MECH.	57.1 m²
MECH.	44.4 m²
MECH.	33.7 m²
PARK. RAMP	213.9 m²
PARKING	4189.1 m²
SERVICE SPACE	56.1 m²
SERVICE SPACE	19.5 m²
SHOWER CHANGE	32.3 m²
SHOWER CHANGE	24.5 m²
STORM WATER TANK	118.1 m²
STORM WATER TANK	105.7 m²
Grand total	5946.2 m²

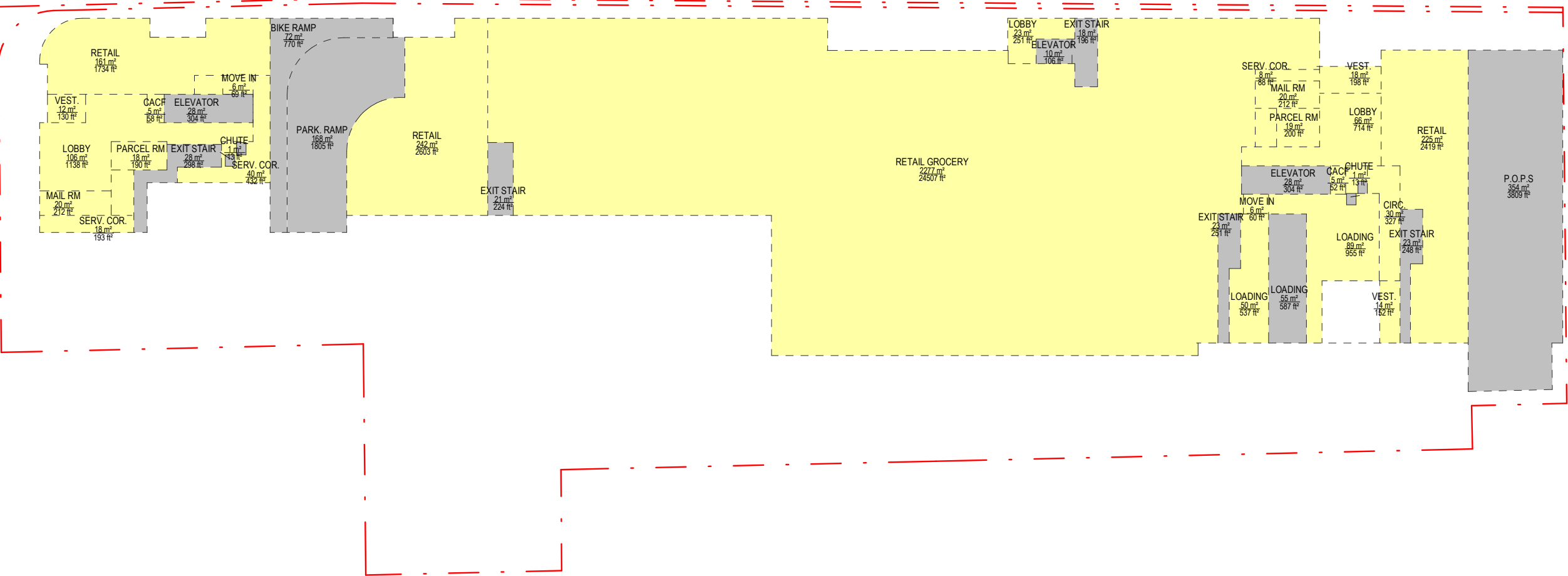
GFA PER ZBL-569-2013 LEVEL P1	
Name	Area
GROCERY	27.1 m²
LOBBY	110.4 m²
LOBBY	25.6 m²
LOBBY	18.8 m²
VEST.	7.3 m²
VEST.	6.6 m²
Grand total	215.2 m²

GROSS CONSTRUCTION AREA (GCA) - LEVEL P1

Name	Area
BIKE RAMP	88.4 m²
BIKE RM	423.7 m²
BIKE RM	151.3 m²
BIKE RM	87.5 m²
BIKE RM	26.7 m²
CHUTE	7.2 m²
CHUTE	5.0 m²
ELEVATOR	28.2 m²
ELEVATOR	28.2 m²
ELEVATOR	13.5 m²
EXH. SHAFT	25.4 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	17.7 m²
GROCERY	27.1 m²
INT. SHAFT	24.6 m²
LOBBY	110.4 m²
LOBBY	25.6 m²

GROSS CONSTRUCTION AREA (GCA) - LEVEL P1

Name	Area
LOBBY	18.8 m²
MECH.	67.0 m²
MECH.	57.1 m²
MECH.	44.4 m²
MECH.	33.7 m²
PARK. RAMP	213.9 m²
PARKING	4189.1 m²
SERVICE SPACE	56.1 m²
SERVICE SPACE	19.5 m²
SHOWER CHANGE	32.3 m²
SHOWER CHANGE	24.5 m²
STORM WATER TANK	118.1 m²
STORM WATER TANK	105.7 m²
VEST.	19.4 m²
VEST.	7.3 m²
VEST.	6.6 m²
Grand total	6161.4 m²



3 GFA Ground Floor
1 : 500

GFA EXCLUSION PER ZBL-569-2013 GROUND FLOOR	
Name	Area
BIKE RAMP	71.6 m²
CHUTE	1.3 m²
CHUTE	1.3 m²
CHUTE	1.2 m²
CHUTE	1.2 m²
ELEVATOR	28.2 m²
ELEVATOR	28.2 m²
ELEVATOR	9.9 m²
EXIT STAIR	27.7 m²
EXIT STAIR	23.3 m²
EXIT STAIR	23.0 m²
EXIT STAIR	20.8 m²
EXIT STAIR	18.2 m²
LOADING	54.6 m²
P.O.P.S	353.9 m²
PARK. RAMP	167.7 m²
Grand total	832.0 m²

GFA PER ZBL-569-2013 GROUND FLOOR	
Name	Area
BF WC	11.5 m²
BF WC	9.2 m²
CACF	5.4 m²
CACF	4.8 m²
CIRC.	30.4 m²
LOADING	88.7 m²
LOADING	49.9 m²
LOBBY	105.7 m²
LOBBY	66.4 m²
LOBBY	23.4 m²
LOBBY STORAGE	5.4 m²

GFA PER ZBL-569-2013 GROUND FLOOR	
Name	Area
MAIL RM	19.7 m²
MAIL RM	19.7 m²
MOVE IN	6.4 m²
MOVE IN	5.6 m²
PARCEL RM	18.6 m²
PARCEL RM	17.7 m²
RETAIL	241.8 m²
RETAIL	224.7 m²
RETAIL	161.1 m²
RETAIL	6.0 m²
RETAIL GROCERY	2276.8 m²
SERV. COR.	40.1 m²
SERV. COR.	17.9 m²
SERV. COR.	8.2 m²
VEST.	18.4 m²
VEST.	14.1 m²
VEST.	12.1 m²
Grand total	3509.5 m²

GROSS CONSTRUCTION AREA (GCA) - GROUND FLOOR	
Name	Area
BF WC	11.5 m²
BF WC	9.2 m²
BIKE RAMP	71.6 m²
CACF	5.4 m²
CACF	4.8 m²
CHUTE	1.3 m²
CHUTE	1.3 m²
CHUTE	1.2 m²
CHUTE	1.2 m²
CIRC.	30.4 m²
ELEVATOR	28.2 m²
ELEVATOR	28.2 m²
ELEVATOR	9.9 m²
EXIT STAIR	27.7 m²
EXIT STAIR	23.3 m²
EXIT STAIR	23.0 m²
EXIT STAIR	20.8 m²
EXIT STAIR	18.2 m²
LOADING	88.7 m²

GROSS CONSTRUCTION AREA (GCA) - GROUND FLOOR	
Name	Area
LOADING	54.6 m²
LOADING	49.9 m²
LOBBY	105.7 m²
LOBBY	66.4 m²
LOBBY	23.4 m²
LOBBY STORAGE	5.4 m²
MAIL RM	19.7 m²
MAIL RM	19.7 m²
MOVE IN	6.4 m²
MOVE IN	5.6 m²
P.O.P.S	353.9 m²
PARCEL RM	18.6 m²
PARCEL RM	17.7 m²
PARK. RAMP	167.7 m²
RETAIL	241.8 m²
RETAIL	224.7 m²
RETAIL	161.1 m²
RETAIL	6.0 m²
RETAIL GROCERY	2276.8 m²
SERV. COR.	40.1 m²
SERV. COR.	17.9 m²
SERV. COR.	8.2 m²
VEST.	18.4 m²
VEST.	14.1 m²
VEST.	12.1 m²
Grand total	4341.6 m²



4 GFA Level 02
1 : 500

GFA EXCLUSION PER ZBL-569-2013 LEVEL 02	
Name	Area
CHUTE	1.6 m²
CHUTE	1.4 m²
CHUTE	1.3 m²
CHUTE	1.2 m²
ELEVATOR	28.2 m²
ELEVATOR	22.0 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	14.3 m²
EXIT STAIR	13.8 m²
Grand total	122.0 m²

GFA PER ZBL-569-2013 LEVEL 02	
Name	Area
CIRC.	74.8 m²
RETAIL	309.6 m²
UNIT 1BD	63.7 m²
UNIT 1BD	63.7 m²
UNIT 1BD	63.7 m²
UNIT 1BD	63.7 m²
UNIT 1BD	60.3 m²
UNIT 1BD	58.3 m²
UNIT 1BD	53.5 m²
UNIT 1BD	50.5 m²
UNIT 2BD	73.1 m²
UNIT 2BD	73.1 m²
UNIT 2BD	73.1 m²
UNIT 3BD	122.7 m²
UNIT 4 BD	126.9 m²
UNIT STUDIO	45.5 m²
UNIT STUDIO	44.6 m²
Grand total	1357.1 m²

GROSS CONSTRUCTION AREA (GCA) - LEVEL 02

Name	Area
CHUTE	1.6 m²
CHUTE	1.4 m²
CHUTE	1.3 m²
CHUTE	1.2 m²
CIRC.	74.8 m²
ELEVATOR	28.2 m²
ELEVATOR	22.0 m²
EXIT STAIR	19.1 m²
EXIT STAIR	19.1 m²
EXIT STAIR	14.3 m²
EXIT STAIR	13.8 m²
RETAIL	309.6 m²

GROSS CONSTRUCTION AREA (GCA) - LEVEL 02

Name	Area
UNIT 1BD	63.7 m²
UNIT 1BD	63.7 m²
UNIT 1BD	63.7 m²
UNIT 1BD	60.3 m²
UNIT 1BD	58.3 m²
UNIT 1BD	53.5 m²
UNIT 1BD	50.5 m²
UNIT 2BD	73.1 m²
UNIT 2BD	73.1 m²
UNIT 2BD	73.1 m²
UNIT 3 BD	122.7 m²
UNIT 4 BD	126.9 m²
UNIT STUDIO	45.5 m²
UNIT STUDIO	44.6 m²
Grand total	1479.1 m²

2451-2495 Danforth

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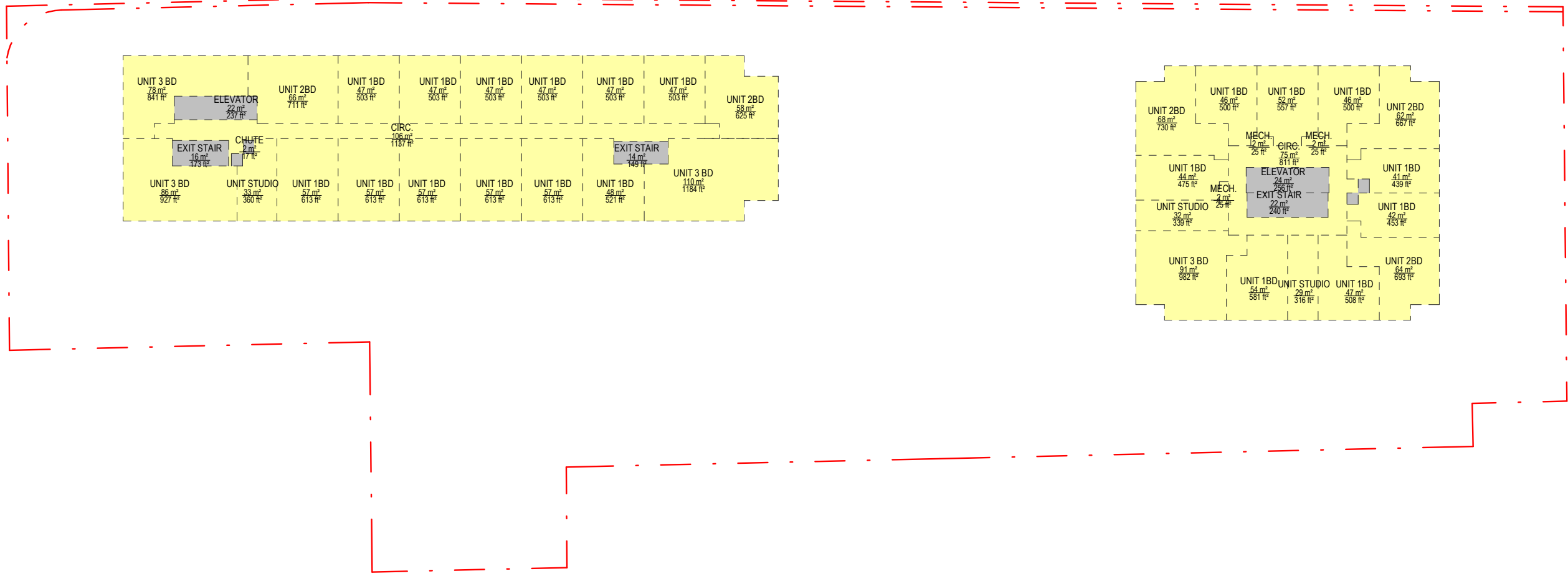
Title:

**GFA DIAGRAMS PER
ZBL 569-2013**

Project No. 2216 Scale As indicated

Drawing No.

A.003



4 GFA Level11-13 1: 500		GFA EXCLUSION PER ZBL-569-2013 LEVEL 11		GFA PER ZBL-569-2013 LEVEL 11		GFA PER ZBL-569-2013 LEVEL 11		GROSS CONSTRUCTION AREA (GCA) - LEVEL 11		GROSS CONSTRUCTION AREA (GCA) - LEVEL 11	
Name		Area		Name		Area		Name		Area	
CHUTE		1.8 m²		CIRC.		105.6 m²		CHUTE		1.8 m²	
CHUTE		1.6 m²		CIRC.		75.3 m²		CHUTE		1.6 m²	
CHUTE		1.5 m²		MECH.		2.3 m²		CHUTE		1.5 m²	
CHUTE		1.4 m²		MECH.		2.3 m²		CHUTE		1.4 m²	
ELEVATOR		23.8 m²		MECH.		2.3 m²		CIRC.		105.6 m²	
ELEVATOR		22.0 m²		UNIT 1BD		56.9 m²		CIRC.		75.3 m²	
EXIT STAIR		22.3 m²		UNIT 1BD		56.9 m²		ELEVATOR		23.8 m²	
EXIT STAIR		16.1 m²		UNIT 1BD		56.9 m²		ELEVATOR		22.0 m²	
EXIT STAIR		13.8 m²		UNIT 1BD		56.9 m²		EXIT STAIR		22.3 m²	
Grand total		104.4 m²		UNIT 1BD		56.9 m²		EXIT STAIR		16.1 m²	
				UNIT 1BD		56.9 m²		EXIT STAIR		13.8 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
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				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
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				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	
				UNIT 1BD		56.9 m²		MECH.		2.3 m²	

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SETBACK DIAGRAM LEGEND

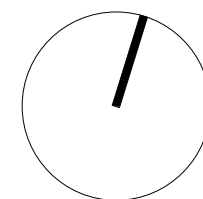
SETBACK FROM PROPERTY LINE

SEPARATION DISTANCE BETWEEN UPPER FLOORS AND EXISTING BUILDINGS

SEPARATION DISTANCE BETWEEN PODIUM AND EXISTING BUILDINGS

2 SEP 10, 2025 Re-Issued for OPA and ZBA
1 OCT 28, 2024 Issued for OPA and ZBA

No. Date Issue/Revision



2451-2495 Danforth

2451-2495 Danforth
Avenue, Toronto, ON
M6R 2J5

Title:
SETBACK DIAGRAM

Project No. 2216 Scale As indicated

Drawing No.

A.006

1 Setback Diagram
1:350

<u>GREEN ROOF STATISTICS</u>		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)		41904.6 m ² 613.7 m ²
Total Roof Area (m ²)		4231.5 m ²
Area of Residential Private Terraces (m ²)		
Roofing Outdoor Amenity Space, if in a Residential Building (m ²)		1098.6 m ²
Area of Renewable Energy Devices (m ²)		0 m ²
Tower (s)/Roof Area with floor plate less than 750 m ²		N/A
Total Available Roof Space (m²)		2518.9 m²
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	1511.34 m ²	1530.7 m ²
Coverage of Available Roof Space (%)	60 %	60 %

Definitions

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GREEN ROOF - An extension of an above grade roof, built on top of a human-made structure, that allows vegetation to grow in a growing medium and which is designed, constructed and maintained in accordance with the Toronto Green Roof Construction Standard.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

PRIVATE TERRACE - Outdoor amenity area on a roof that is available exclusively for use by the occupants of an abutting residential unit for recreational or social activities.

LOADING NOTES

1. TYPE T LOADING SPACE AND ADJACENT STAGING PAD HAVE VERTICAL CLEARANCE OF MIN 6.1 METERS
2. TYPE T LOADING SPACE SHALL BE LOCATED ON THE EAST SIDE OF THE TRUCK TRAIL IN FRONT OF THE LOADING AREA TO HAVE MIN. VERTICAL CLEARANCE OF 6.1M
3. TYPE T LOADING SPACE WILL BE SHARED BETWEEN RESIDENTIAL AND NON-RESIDENTIAL USES. ONLY ONE CYCLE OF THE TYPE T LOADING SPACE ON ANY GIVEN DAY. THE TRUCK TRAIL SHALL BE USED TO STAGE TRUCKS TO AVOID THE TRUCK TRAIL BEING USED FOR CITY WASTE COLLECTION.
4. NON-RESIDENTIAL WASTE WILL BE LABELLED AND STORED SEPARATELY FROM THE BINS FOR RESIDENTIAL WASTE.
5. TYPE T LOADING SPACE WILL BE LEVEL, 1% IN 2% AND CONSTRUCTED WITH 200mm THICK SANDPAC CONCRETE SLAB.
6. THE TRUCK TRAIL SYSTEM WILL PROVIDE ALERTING DRIVES WHEN EXTING THE TRUCKS FROM PARKING GARAGE THAT LARGE TRUCKS ARE MANOEUVRING WITHIN THE PUBLIC LADE.
7. ALL ACCESS DRIVEWAYS TO BE USED BY THE GARBAGE COLLECTION VEHICLE WILL HAVE:
 - a. MINIMUM GRADIENT OF 4%
 - b. MINIMUM VERTICAL CLEARANCE OF 4 METRES THROUGHOUT.
 - c. MAXIMUM WIDTH OF 4.5 METRES
 - d. 6 METRES WIDE AT POINT OF INGRESS AND EGRESS
8. ALL PARKING SIGNS TO BE PROVIDED AND MAINTAINED ADJACENT TO THE LOADING SPACE.
9. CONSTRUCT AN ON-SITE TYPE T LOADING SPACE AND ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS THERETO, TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCES FOR CITY WASTE COLLECTION VEHICLES.
10. THE RESIDENTIAL SOLID WASTE ROOM WILL ACCOMMODATE GARBAGE, RECYCLING AND ORGANICS FOR THE RESIDENTIAL COMPONENT OF THE BUILDING VIA USE OF A BINSORTER IN THE DEVELOPMENT.
11. "COLLECTION OF WASTE MATERIALS FOR THIS DEVELOPMENT WILL TAKE PLACE IN AN ENCLOSED LOADING BAY. AN ON-SITE STAFF PERSON IS RESPONSIBLE FOR MOVING THE BINS FROM THE GARBAGE STORAGE SPACE TO THE COLLECTION POINT AND PROVIDE VEHICLE DIRECTIONAL TO THE COLLECTION VEHICLE OPERATOR AS REQUIRED."
12. THE TYPE T LOADING SPACE, THE GARBAGE STORAGE SPACE, A FLASHING LIGHT, AND AN APPROPRIATE SIGNAGE AND COST TO THE CITY, WILL BE IN PLACE AND ACTIVATED DURING COLLECTION AND REMAIN ACTIVE UNTIL THE VEHICLE EXITS THE SITE. REFER TO TRAFFIC CONSULTANT REPORT FOR SWEEP PATH.
13. THE TYPE T LOADING SPACE, THE GARBAGE STORAGE SPACE, THE TRUCK TRAIL AND COLLECTION BAY WILL BE ACTIVATED BY THE CITY OF MISSISSAUGA AND NECESSARY APPLICATIONS AND WAIVER FORMS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REUSE COLLECTION.
14. THE TYPE T LOADING SPACE, THE GARBAGE STORAGE SPACE, THE TRUCK TRAIL AND COLLECTION BAY WILL BE ACTIVATED BY THE CITY OF MISSISSAUGA AND NECESSARY APPLICATIONS AND WAIVER FORMS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REUSE COLLECTION.
15. REUSE GENERATED BY THE NON-RESIDENTIAL USE MUST BE STORED ON SITE, IN RODENT PROOF CONTAINERS IN ACCORDANCE WITH CHAPTER 841 OF THE MUNICIPAL CODE, "WASTE COLLECTION."
16. TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS NOT AVAILABLE, THE COLLECTION DRIVER WILL BE REQUIRED TO REVERSE THE COLLECTION VEHICLE AND LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DATE. FOR SPECIAL TRUCK DEMONSTRATIONS AND TURNING RADIUS, REFER TO TRAFFIC CONSULTANT'S REPORT."

SITE PLAN NOTES

1. THE BUILDING IS TO BE SPRINKLERED.
2. REFER TO THE SPRINKERING DOCUMENTS FOR THE USE OF RESIDENTIAL VISITORS. BUILDING MANAGEMENT SHALL PROVIDE DIRECTION OF THIS ARRANGEMENT.
3. SIDEWALKS AND BOULEVARDS WITH THE RIGHT OF WAY TO HAVE A MINIMUM 1% AND MAXIMUM 4% SLOPE TOWARDS THE ROADWAY.
4. ALL RETAINING WALLS ARE TO BE PROFESSIONALLY ENGINEERED.
5. ALL EXISTING AND PROPOSED SIDEWALKS AND BOULEVARDS ALONG THE DEVELOPMENT SITE PROTYPES THAT ARE NO LONGER REQUIRED ARE TO BE REMOVED. THE BOULEVARD WITHIN THE PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF TECHNICAL SERVICES ARE TO BE REINSTATED.
6. ALL EXISTING AND PROPOSED SIDEWALKS AND BOULEVARDS ARE TO BE DESIGNED IN ACCORDANCE WITH CITY STANDARD NO. T310-00501 FOR COMBINED CURBS AND SIDEWALK VEHICULAR TRANSITS.
7. ALL EXISTING AND PROPOSED SIDEWALKS ARE TO BE INSTALLED ON AN ORIGINAL DESIGN.
8. MAXIMUM POROSITY OF ALL GROUND LEVEL VENTILATION GRASSES MUST BE 20mm X 20mm PER DESIGNED GREEN STANDARDS.

UTILITY/SERVICES NOTES
1. THE METHOD OF INSTA

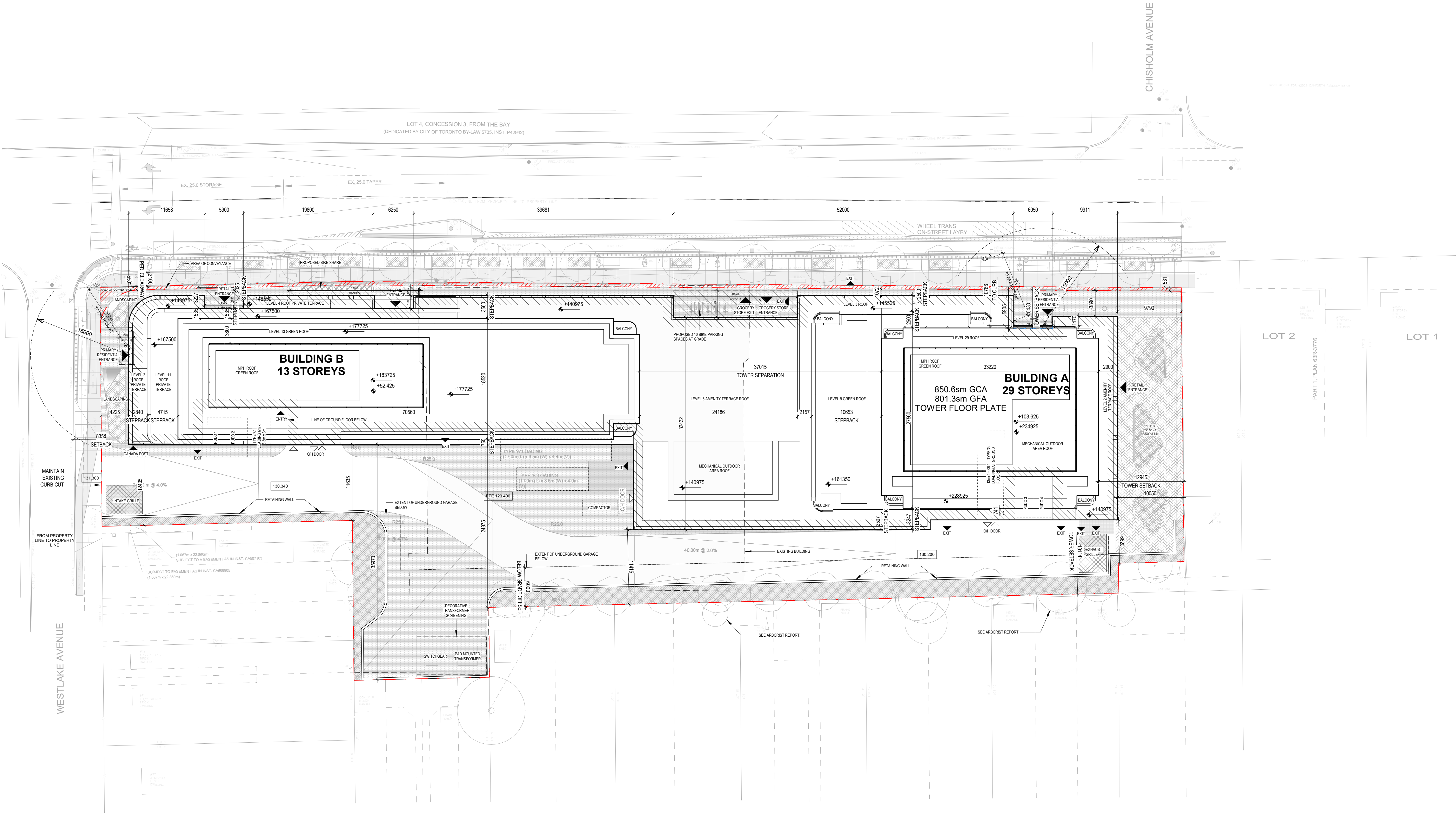
1. THE METHOD OF INSTALLATION FOR THE PROPOSED SERVICE CONNECTIONS WILL BE AT THE DISCRETION OF TORONTO WATER.
2. THE SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER MAINS BY-LAW AT THE OWNERS COST.
3. THE LOCATION OF THE WATER METER SHALL BE TO TORONTO WATER'S SATISFACTION.
4. THE OWNER IS REQUIRED TO INSTALL AND MAINTAIN A PREMISE ISOLATION DEVICE FOR ALL APPLICABLE WATER SERVICES IN ACCORDANCE WITH THE TORONTO MUNICIPAL CODE, CHAPTER M51 WATER SUPPLY, THE BUILDING CODE AND CSA 864 SERIES STANDARDS.
5. THE BUILDING'S STORM AND SANITARY SYSTEM MUST BE DESIGNED TO ABLE TO OPERATE UNDER MUNICIPAL SURCHARGE CONDITIONS.
6. ANY SERVICE THAT SHOULD ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION OF ANY PART OF THIS DEVELOPMENT, THE APPLICANT SHALL BE RESPONSIBLE FOR THE COSTS TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPLICATION.



























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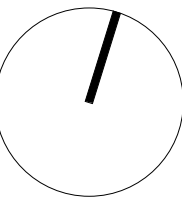


- | | |
|---|----------------------------------|
|  | PRINCIPAL ENTRY |
|  | ENTRY/EXIT |
|  | VEHICULAR ENTRY/EXIT |
|  | FIRE DEPARTMENT CONNECTION |
|  | FIRE HYDRANT |
|  | MANHOLE COVER |
|  | CATCH BASIN |
|  | HYDRO POLE |
|  | ELECTRICAL STAND |
|  | EXTENT OF BELOW GRADE |
|  | BUILDING ELEMENT ABOVE |
|  | OPEN TO BELOW |
|  | EXTENT OF GROUND FLOOR |
|  | GEODETIC ELEVATION |
|  | ELEVATION FROM ESTABLISHED GRADE |
|  | EXISTING GRADE ELEVATION FH |
|  | BARRIER FREE TURNING RADIUS |
|  | EXISTING BUILDING |
|  | PROPERTY CONVEYANCE |
|  | PROPERTY LINE |
|  | FINISHED FLOOR ELEVATION |
|  | TOP OF PARAPET |
|  | TOP OF ROOF |
|  | TOP OF STRUCTURE |
|  | TORONTO GREEN STANDARD |
|  | TREE PROTECTION ZONE |

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BY KRCMAR SURVEYORS LTD.
DATED JULY, 27 2022.

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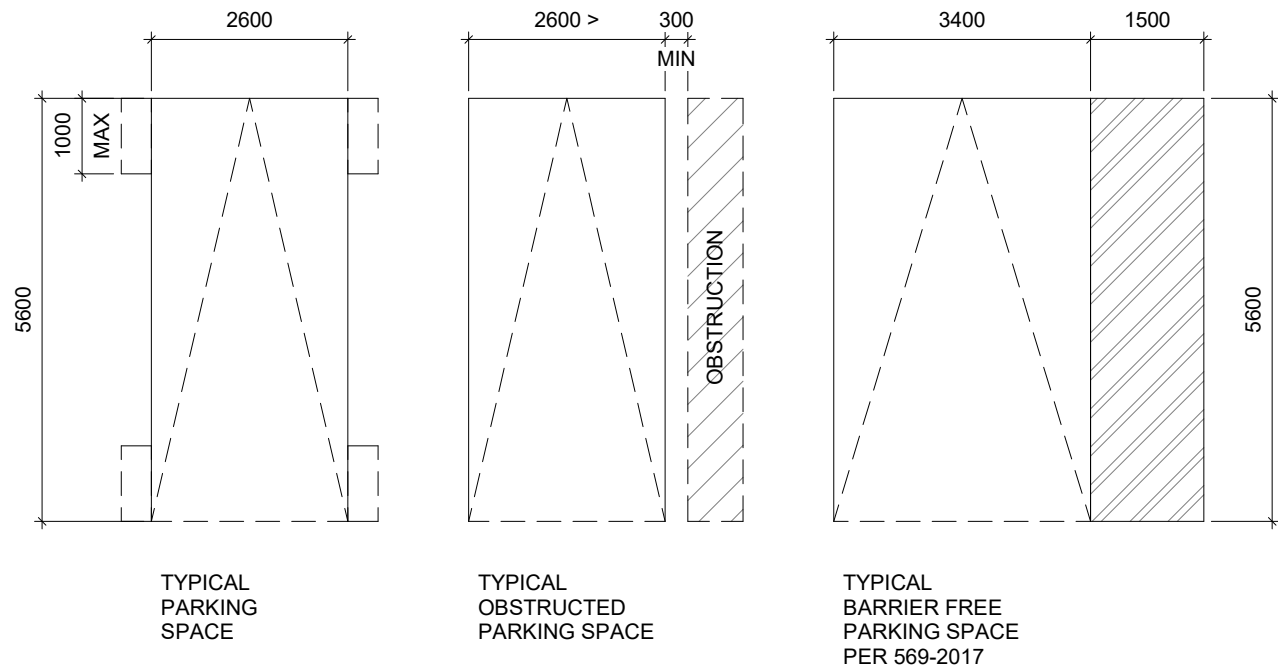
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Title: SITE PLAN

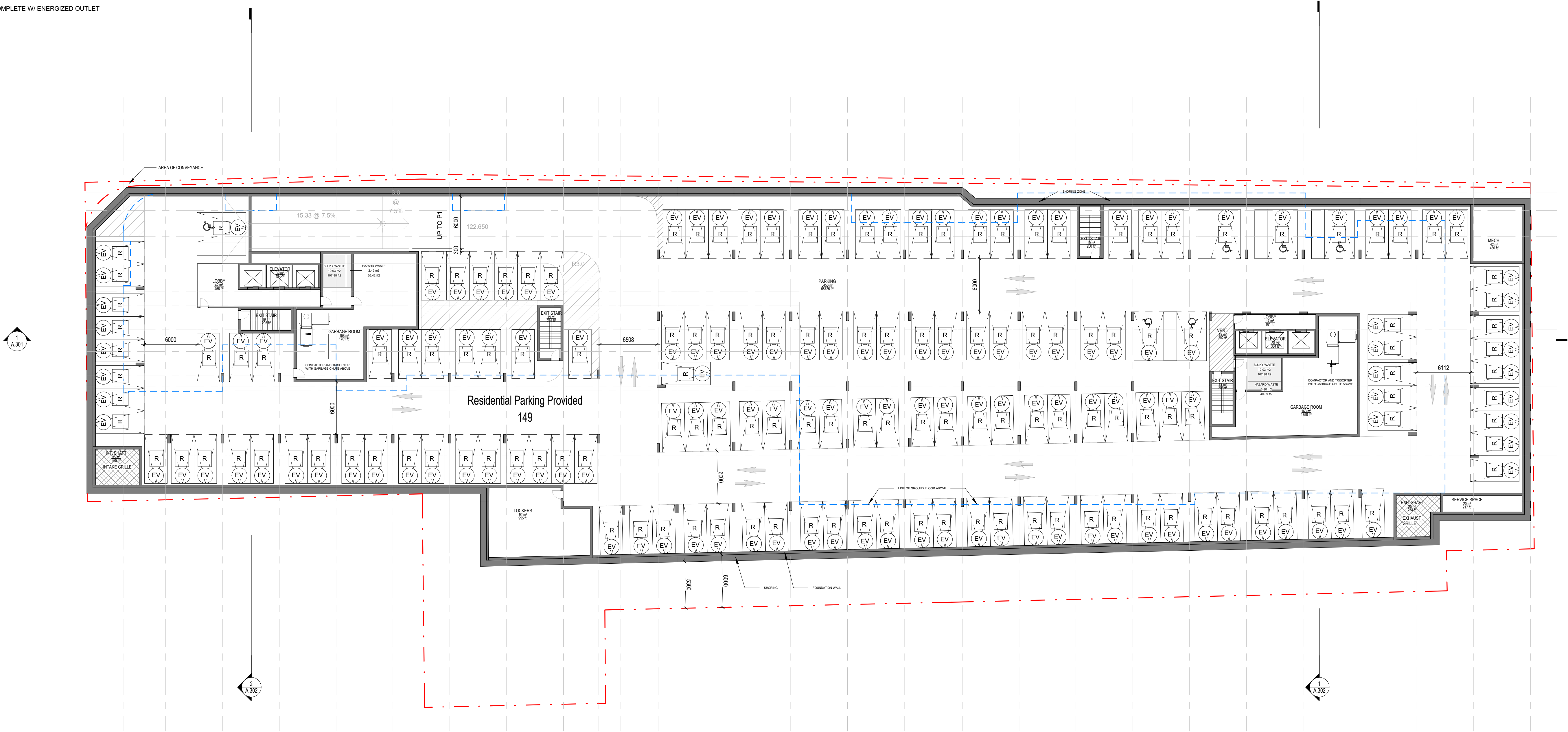
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A.100

VEHICLE PARKING DIMENSIONS



EV - PARKING SPACE COMPLETE W/ ENERGIZED OUTLET
V - VISITOR
R - RESIDENTIAL
EB - BIKE PARKING SPACE COMPLETE W/ ENERGIZED OUTLET



1 P2
1:250

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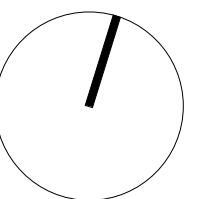
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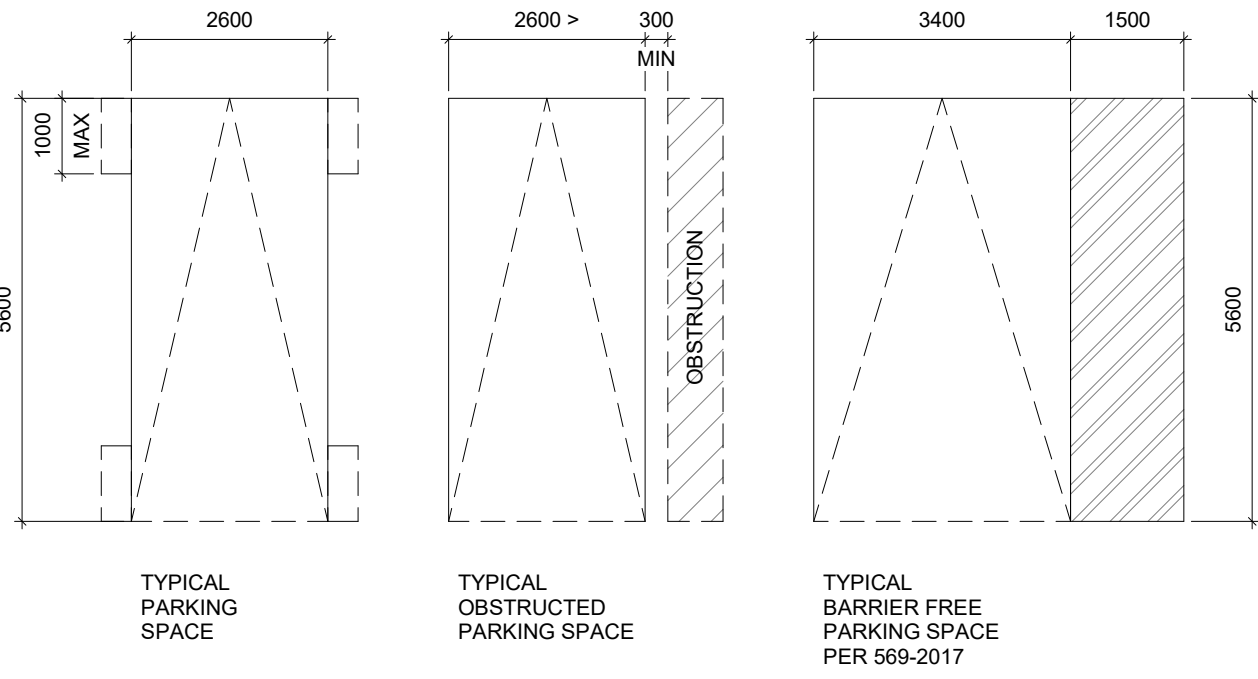
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FLOOR PLAN - P2

Project No. 2216 Scale As indicated

Drawing No.

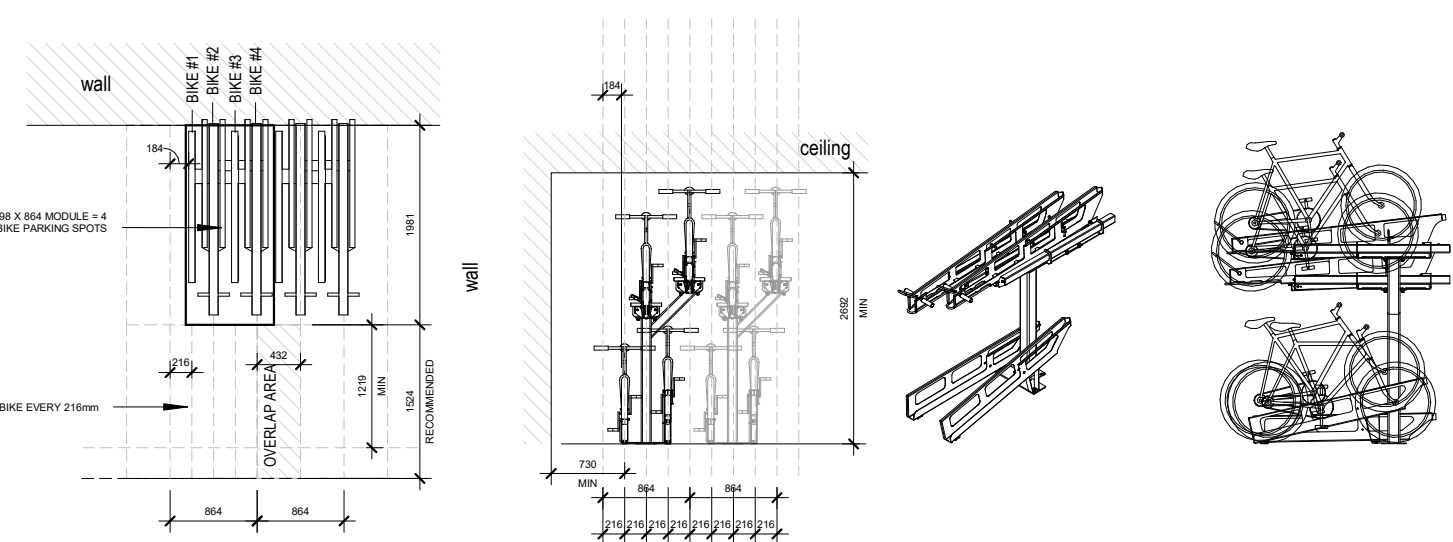
A.101

VEHICLE PARKING DIMENSIONS

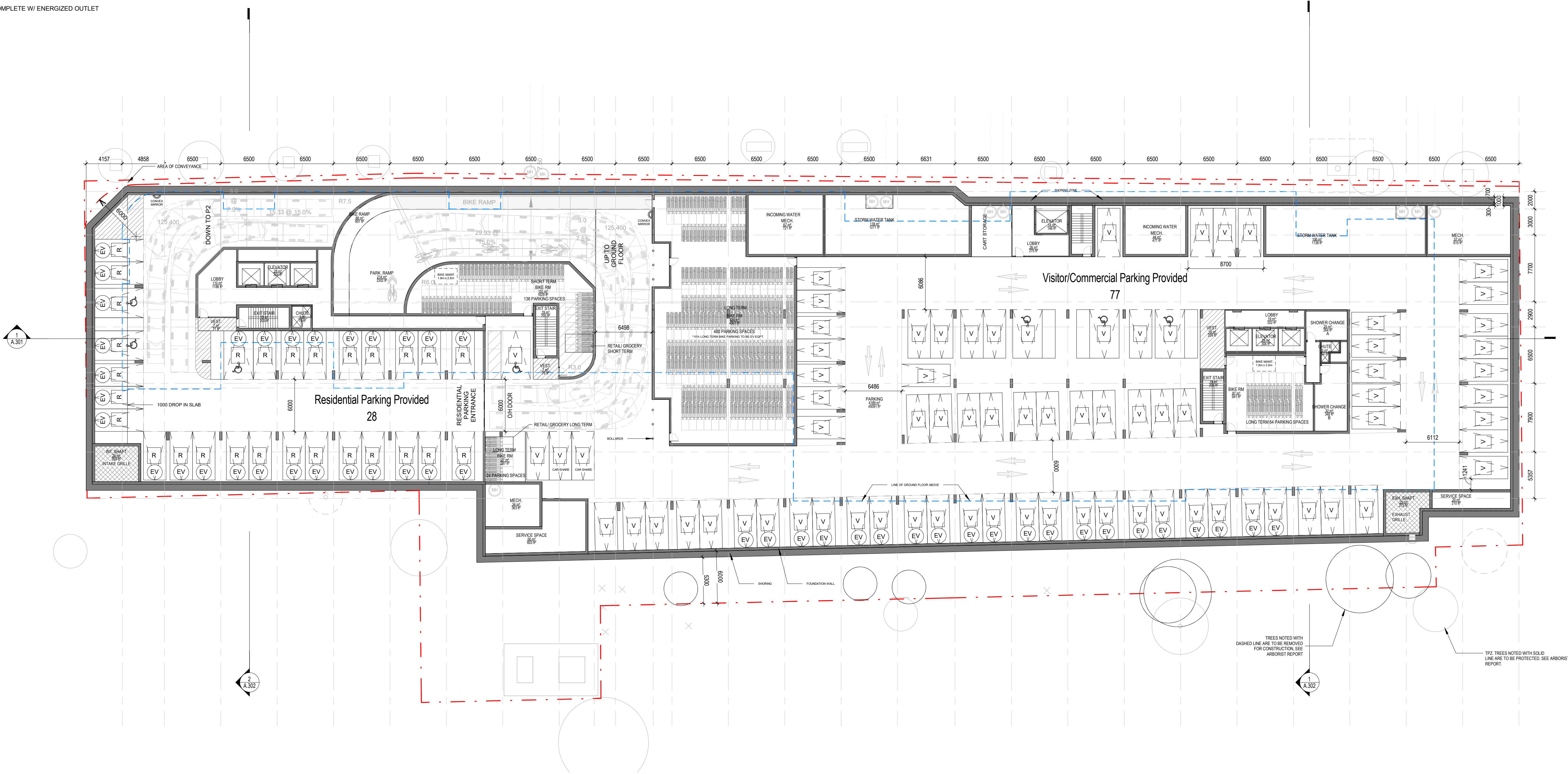


BICYCLE SPACE LEGEND

STACKABLE BIKE PARKING. TYPICAL DETAIL
DERO DECKER or SIMILAR - 2 TIRED SYSTEM (4 BIKES / UNIT TOTAL)



EV - PARKING SPACE COMPLETE W/ ENERGIZED OUTLET
V - VISITOR
R - RESIDENTIAL
EB - BIKE PARKING SPACE COMPLETE W/ ENERGIZED OUTLET



P1
1: 250

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OF
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ANDRÉ DUBÉL
LICENCE
5525

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Title:
FLOOR PLAN - P1

Project No. 2216	Scale As indicated
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A.102

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- PRINCIPAL ENTRY
- ENTRY/ EXIT
- VEHICULAR ENTRY/ EXIT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- MANHOLE COVER
- CATCH BASIN
- HYDRO POLE
- ELECTRICAL STAND
- EXTENT OF BELOW GRADE
- BUILDING ELEMENT ABOVE
- OPEN TO BELOW

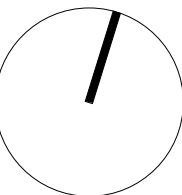
- EXTENT OF GROUND FLOOR
- 123.45 GEODETIC ELEVATION
- HT: 12.30 m ELEVATION FROM EXABLISHED GRADE
- 78.20 EXISTING GRADE ELEVATION
- 10.85 m TURNING RADIUS
- EXISTING BUILDING
- PROPERTY CONVEYANCE
- PROPERTY LINE

- FFE FINISHED FLOOR ELEVATION
- TOP TOP OF PARAPET
- TOR TOP OF ROOF
- TOS TOP OF STRUCTURE
- TGS TORONTO GREEN STANDARDS
- TPZ TREE PROTECTION ZONE

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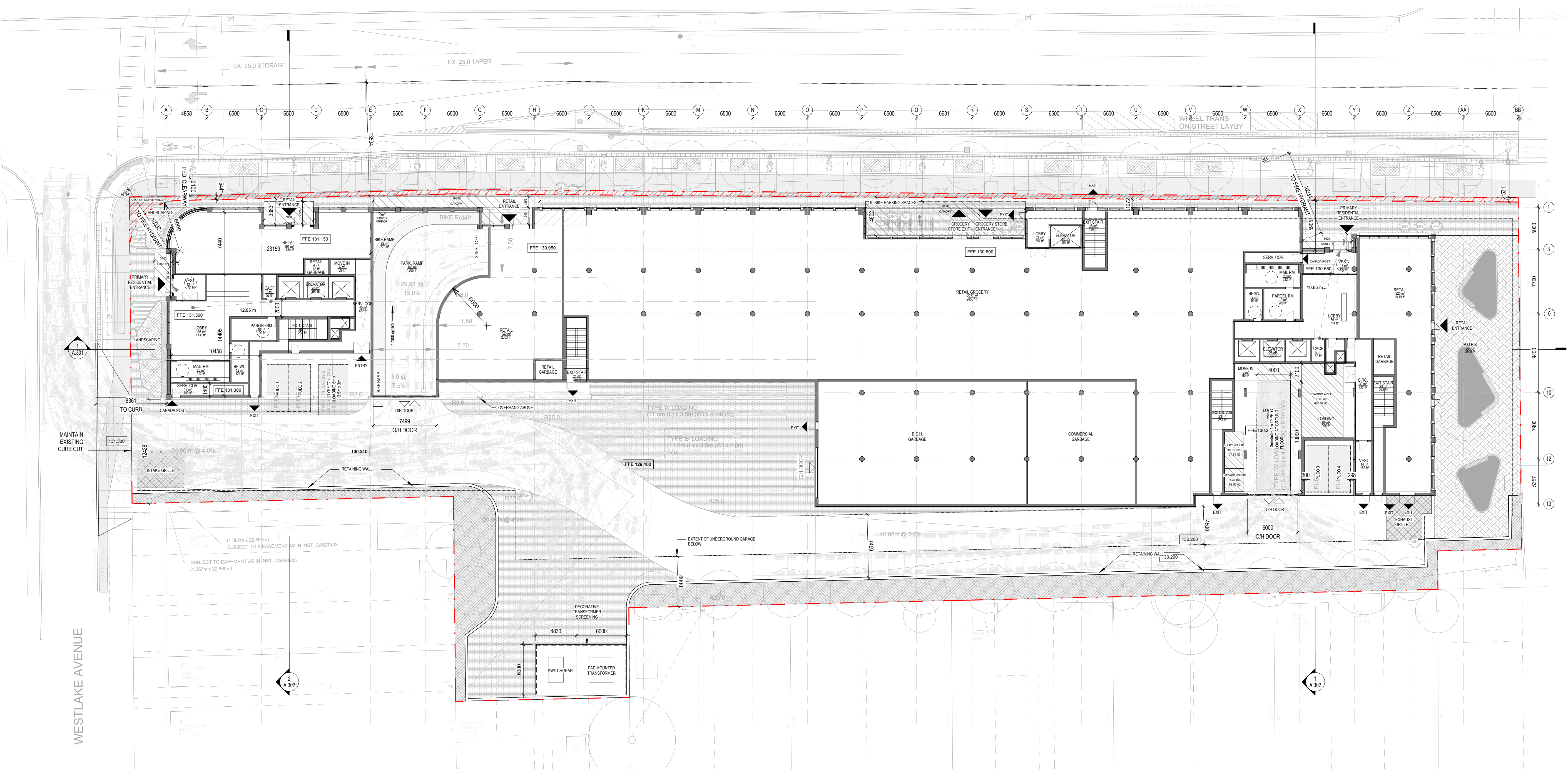


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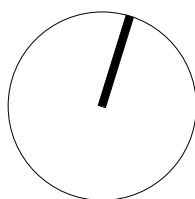
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FLOOR PLAN - GROUND FLOOR

Project No. 2216 Scale As indicated
Drawing No.

A.103



1 Site Plan - Ground Floor
1:250



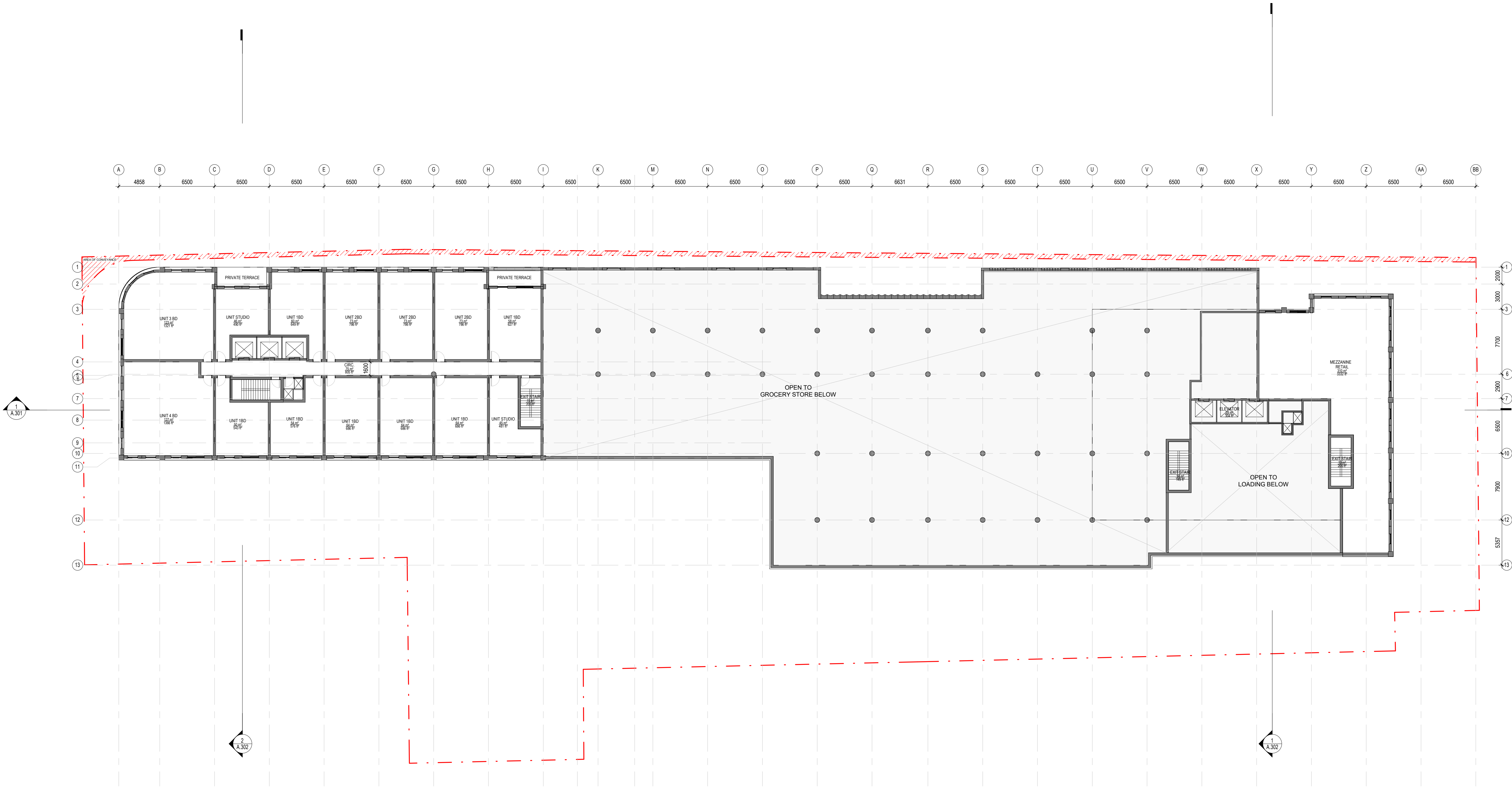
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Title:
**FLOOR PLAN - LEVEL
02**

Project No. 2216 Scale 1 : 250

Drawing No.

A.104



1 LEVEL 02
1 : 250

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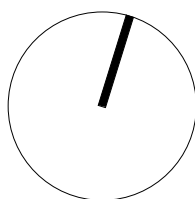
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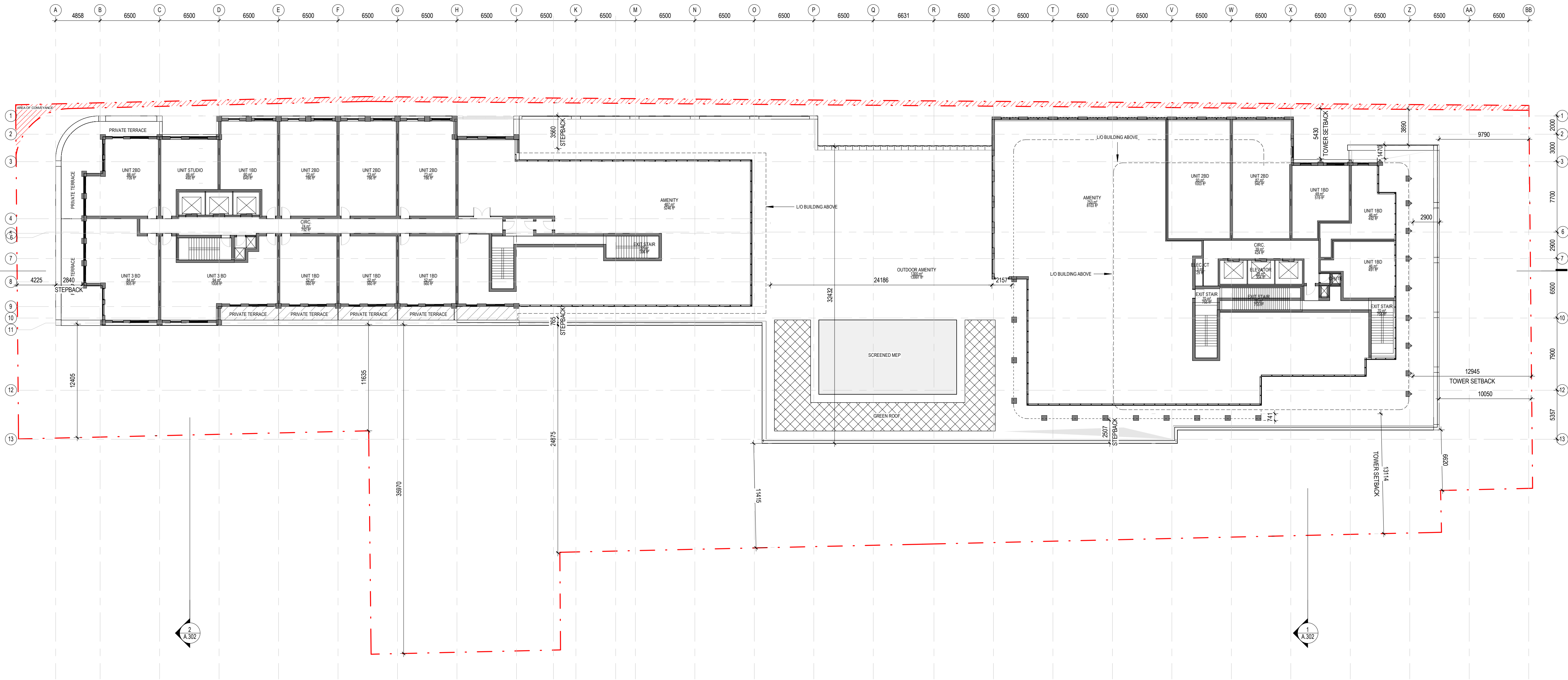
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Title:
**FLOOR PLAN - LEVEL
03**

Project No. 2216 Scale 1 : 250

Drawing No.

A.105

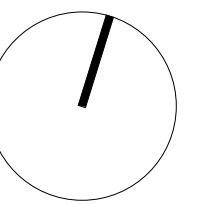


1 LEVEL 03
1 : 250

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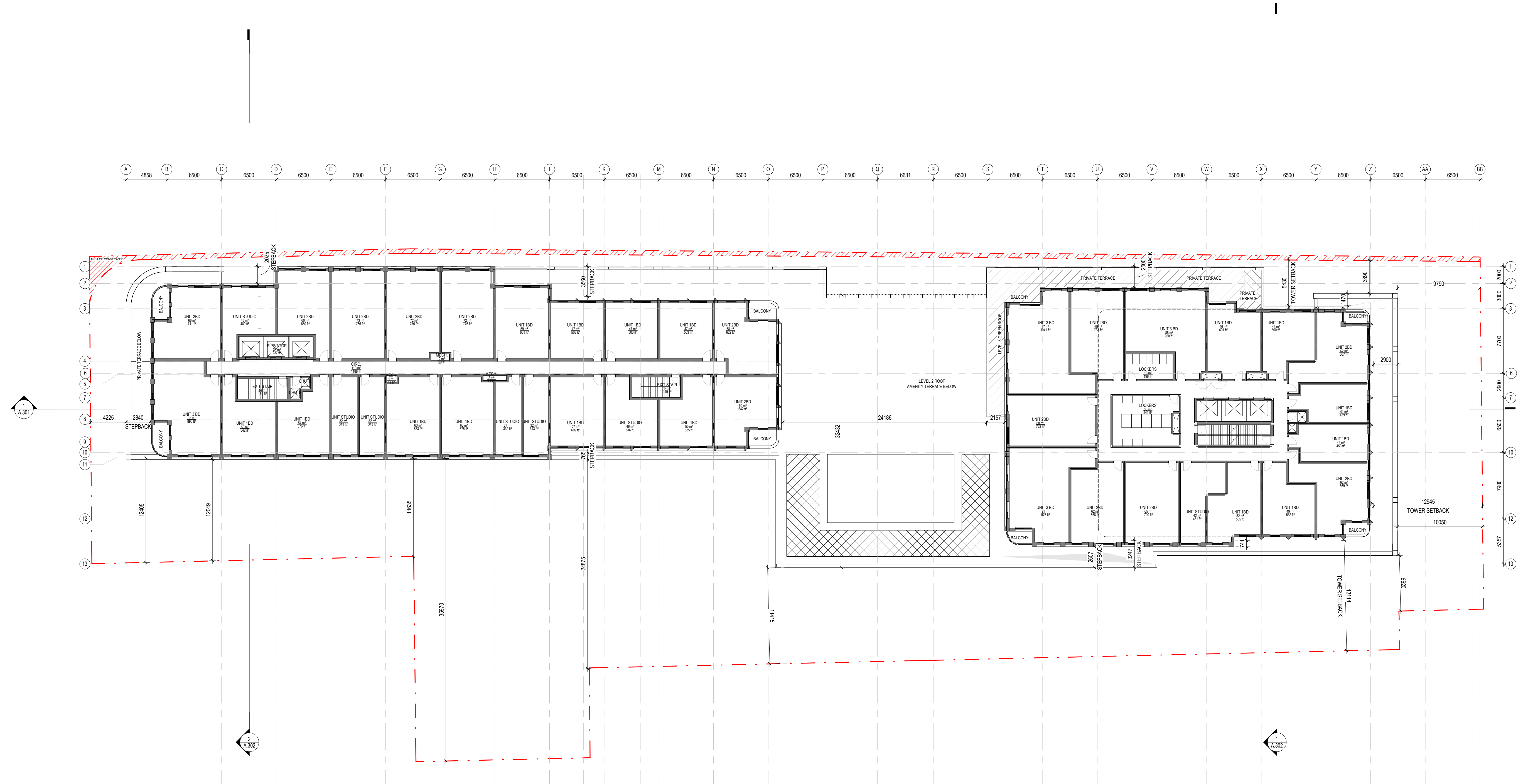
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Project No. 2216	Scale 1 : 250
Drawing No.	

A.106



1 LEVEL 04
1 : 250

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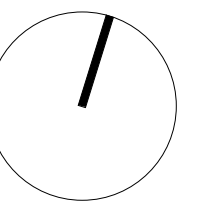
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1 LEVEL 07
1 : 250

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Title:

FLOOR PLAN - LEVEL
05-08

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A.107

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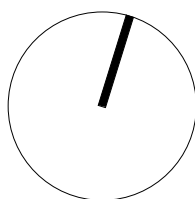
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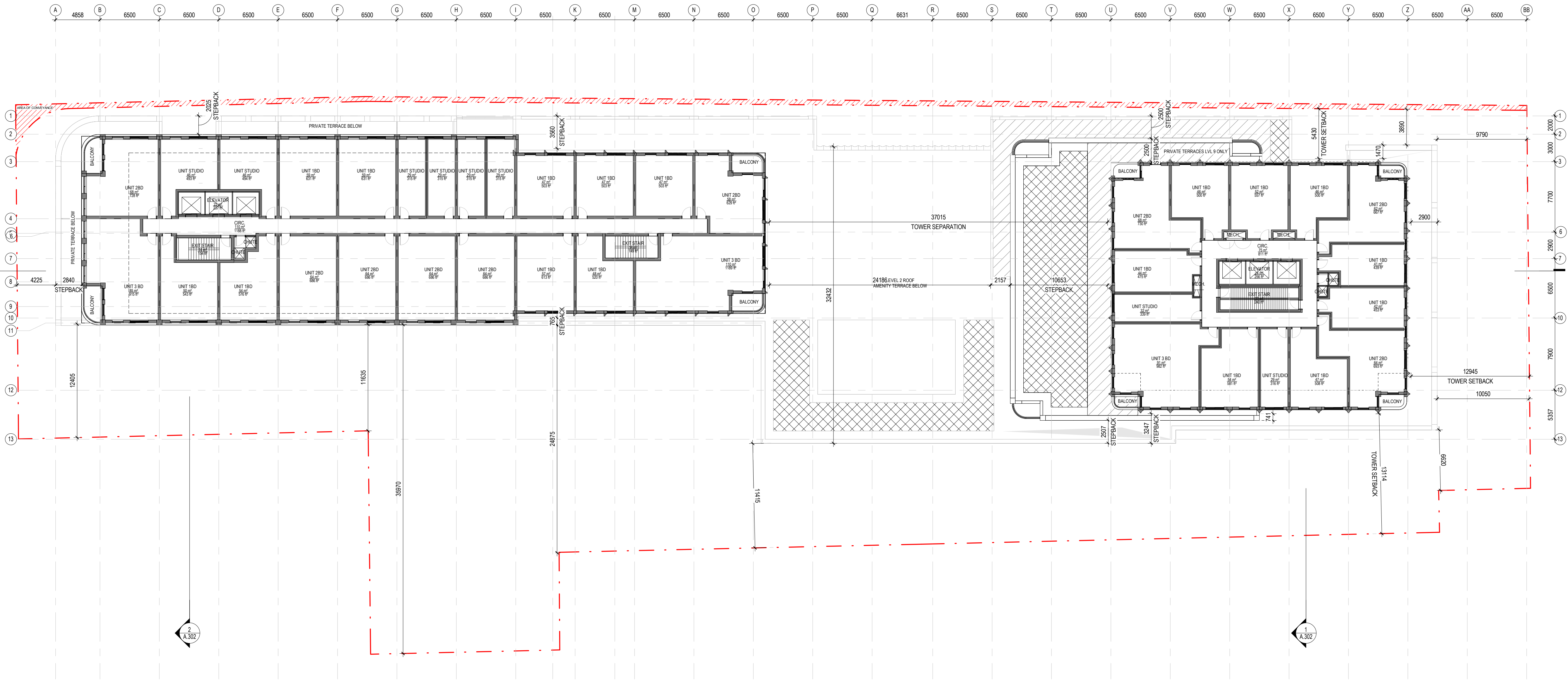
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Title:
**FLOOR PLAN - LEVEL
09-10**

Project No. 2216 Scale 1 : 250

Drawing No.

A.108



1 LEVEL 09
1 : 250

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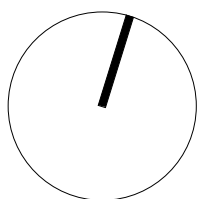
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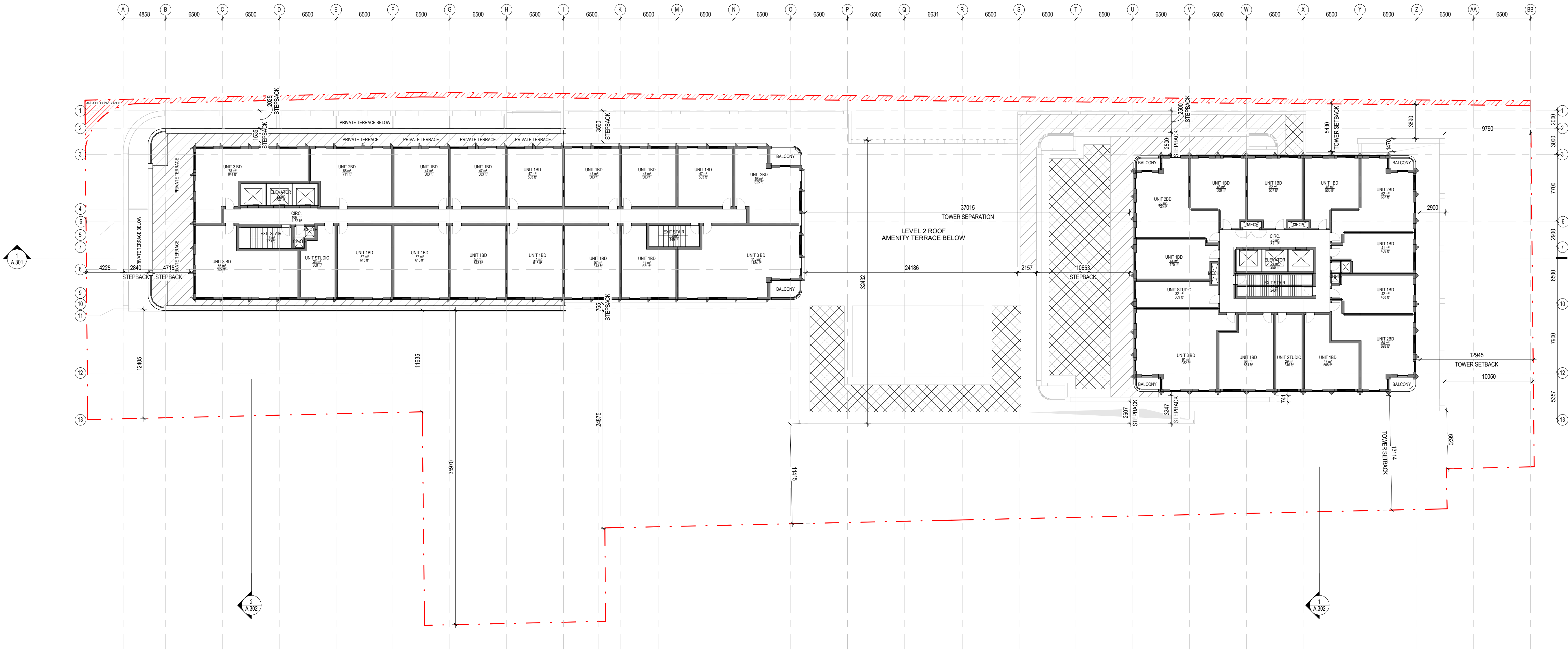
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Title:
**FLOOR PLAN - LEVEL
11-13**

Project No. 2216 Scale 1 : 250

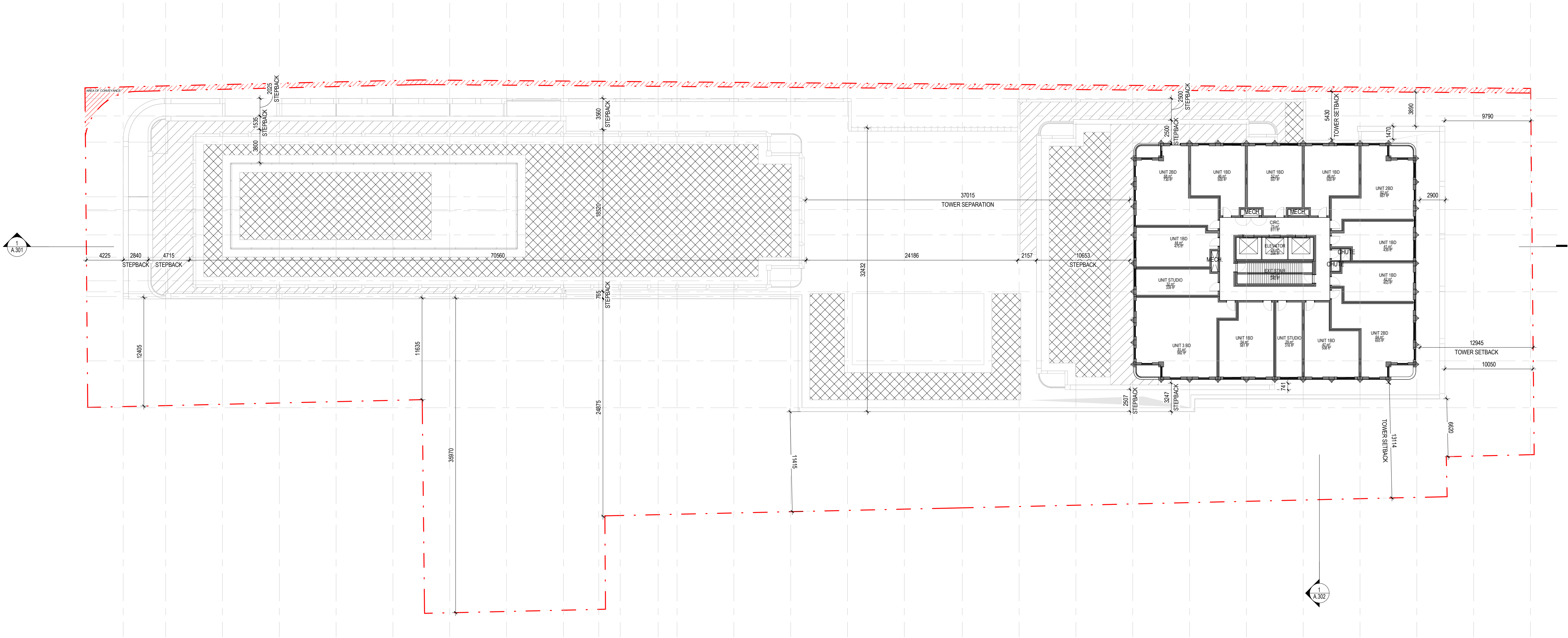
Drawing No.

A.109



1 LEVEL 11
1 : 250

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GREEN ROOF STATISTICS		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)		41904.6 m²
Total Roof Area (m²)		613.7 m²
Area of Residential Private Terraces (m²)		4231.2 m²
Rooftop Outdoor Amenity Space, if in a Residential Building (m²)		1098.6 m²
Area of Renewable Energy Devices (m²)		0 m²
Tower (s)Roof Area with floor plate less than 750 m²		N/A
Total Available Roof Space (m²)		2518.9 m²
Green Roof Coverage		Required Proposed
Coverage of Available Roof Space (m²)		1511.34 m² 1530.7 m²
Coverage of Available Roof Space (%)		60 % 60 %

Definitions

FLOOR PLATE AREA - The total area of a floor of a building, measured from the exterior of the main wall of the floor level, including voids at the level of the floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft.

GREEN ROOF - An extension of an above grade roof, built on top of a human-made structure, that allows vegetation to grow in a growing medium and which is designed, constructed and maintained in accordance with the Toronto Green Roof Construction Standard.

GROSS FLOOR AREA - The total area of each floor level of a building, above and below average grade, measured from the exterior of the main wall of each floor level, including voids at the level of each floor, such as an atrium, mezzanine, stairwell, escalator, elevator, ventilation duct or utility shaft, but excluding areas used for the purpose of parking or loading.

PRIVATE TERRACE - Outdoor amenity area on a roof that is available exclusively for use by the occupants of an abutting residential unit for recreational or social activities.

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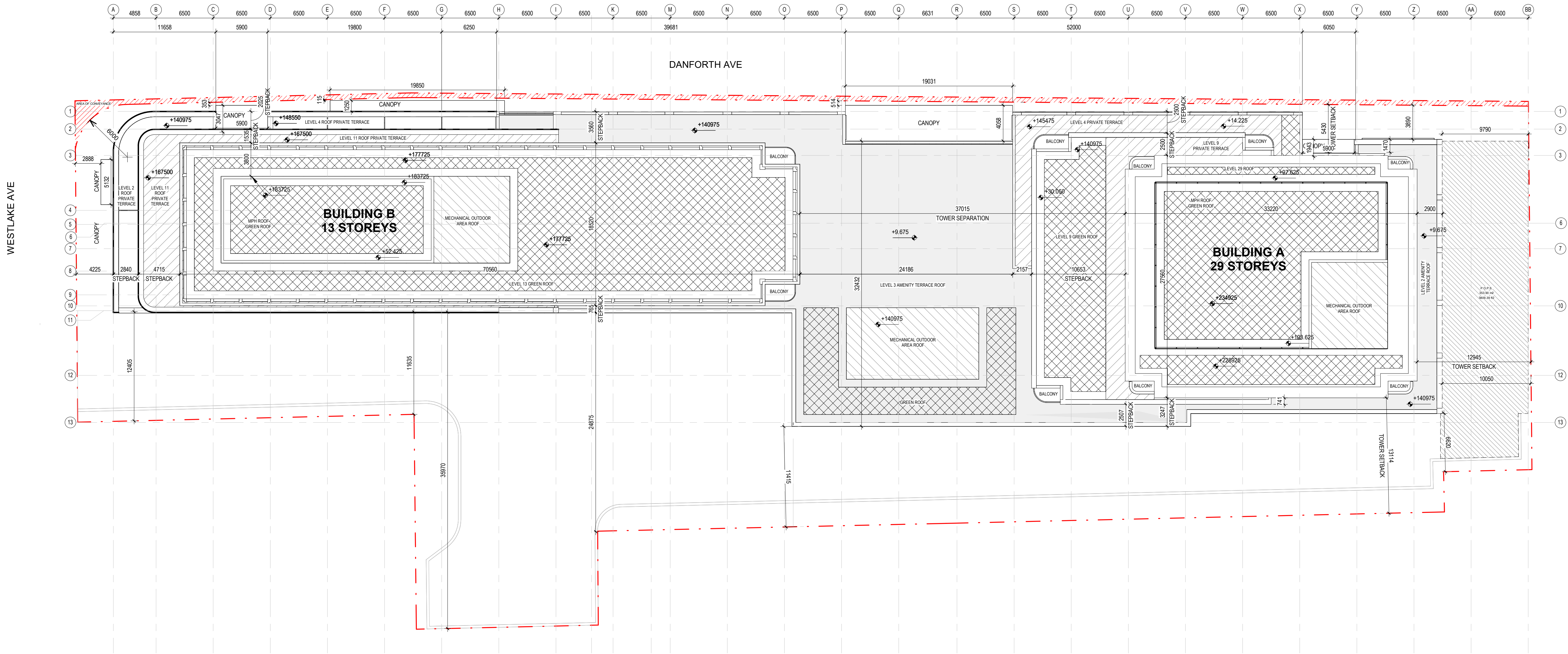
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ROOF PLAN LEGEND

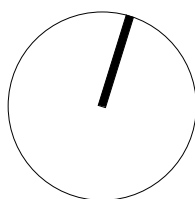
- GREEN ROOF
- MECHANICAL OUTDOOR ROOF
- PRIVATE TERRACE
- OUTDOOR AMENITY



1 Roof Plan
1 : 250

2 SEP 10, 2025 Re-issued for OPA and ZBA
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No. Date Issue/Revision



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Title:
ROOF PLAN

Project No. 2216 Scale As indicated

Drawing No.

A.111

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CONCEPTUAL MATERIAL LEGEND

- MAS-1: MASONARY OR PRECAST CLADDING SYSTEM 1
- MAS-2: MASONARY OR PRECAST CLADDING SYSTEM 2
- STN-1: PRECAST OR STONE CLADDING SYSTEM 1
- MP-1: PREFINISHED METAL PANEL SYSTEM 1
- GL-1: CLEAR GLASS
- GL-2: BIRD SAFE GLASS

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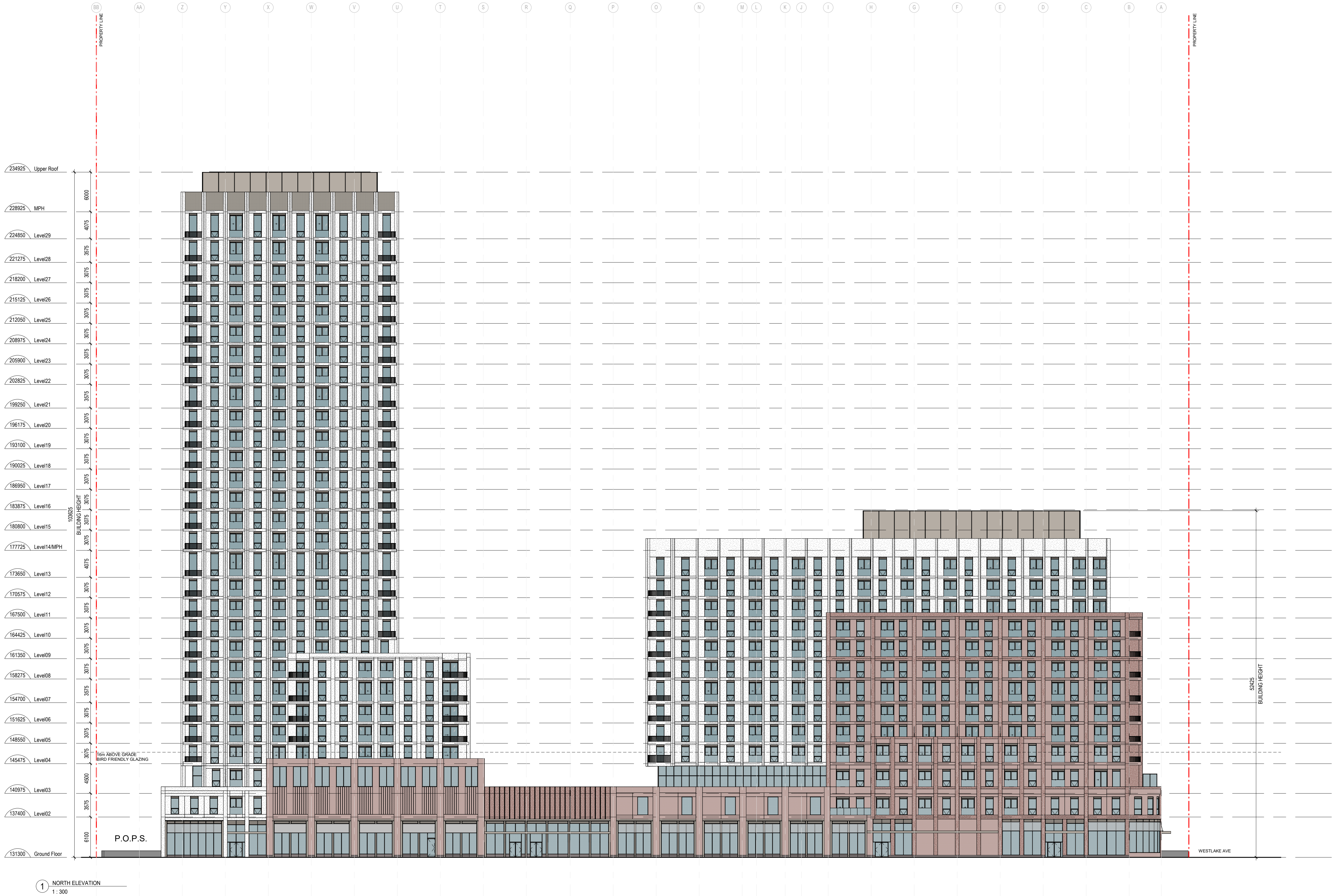
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Title:
NORTH ELEVATION

Project No. 2216 Scale As indicated

Drawing No.

A.201



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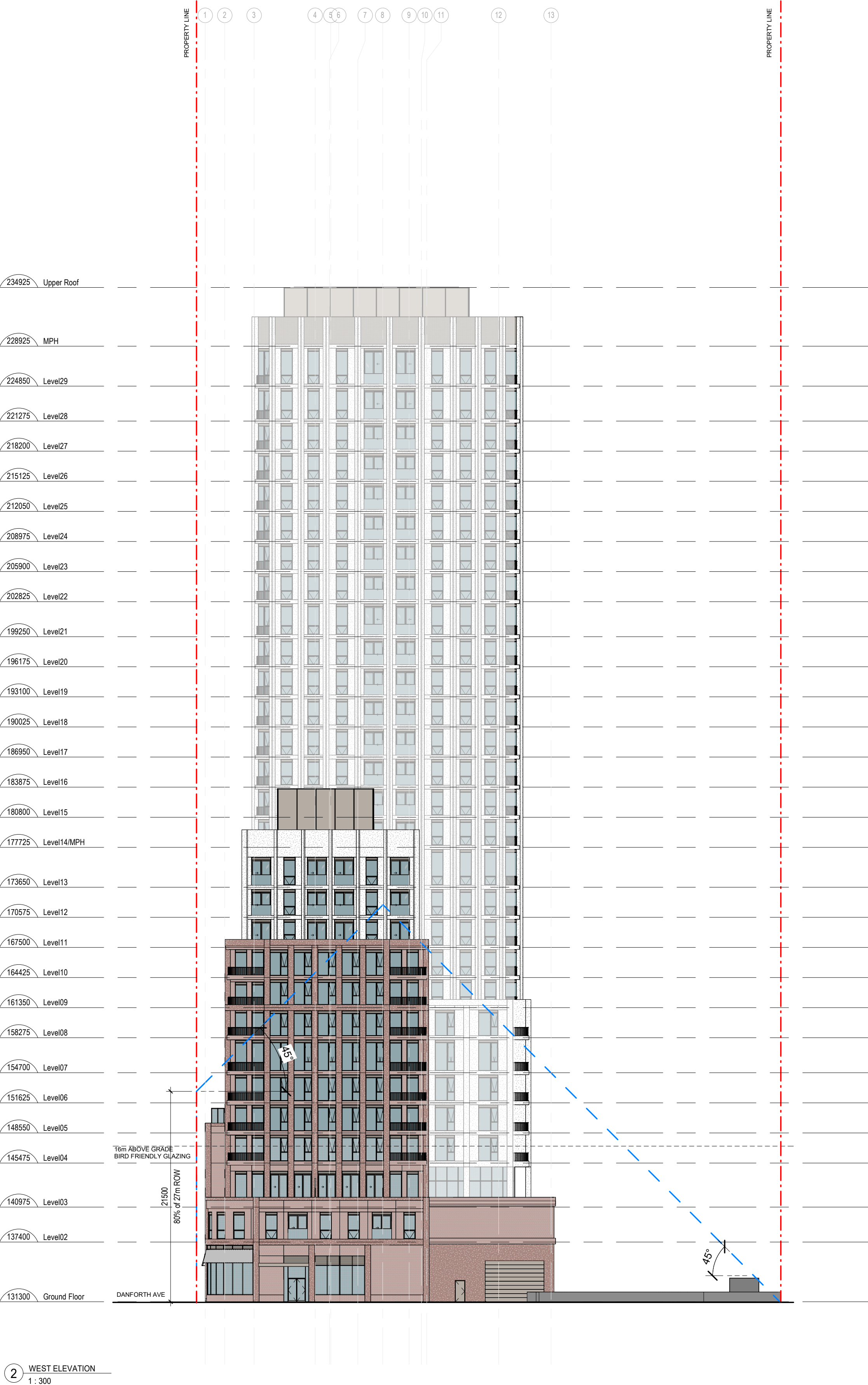
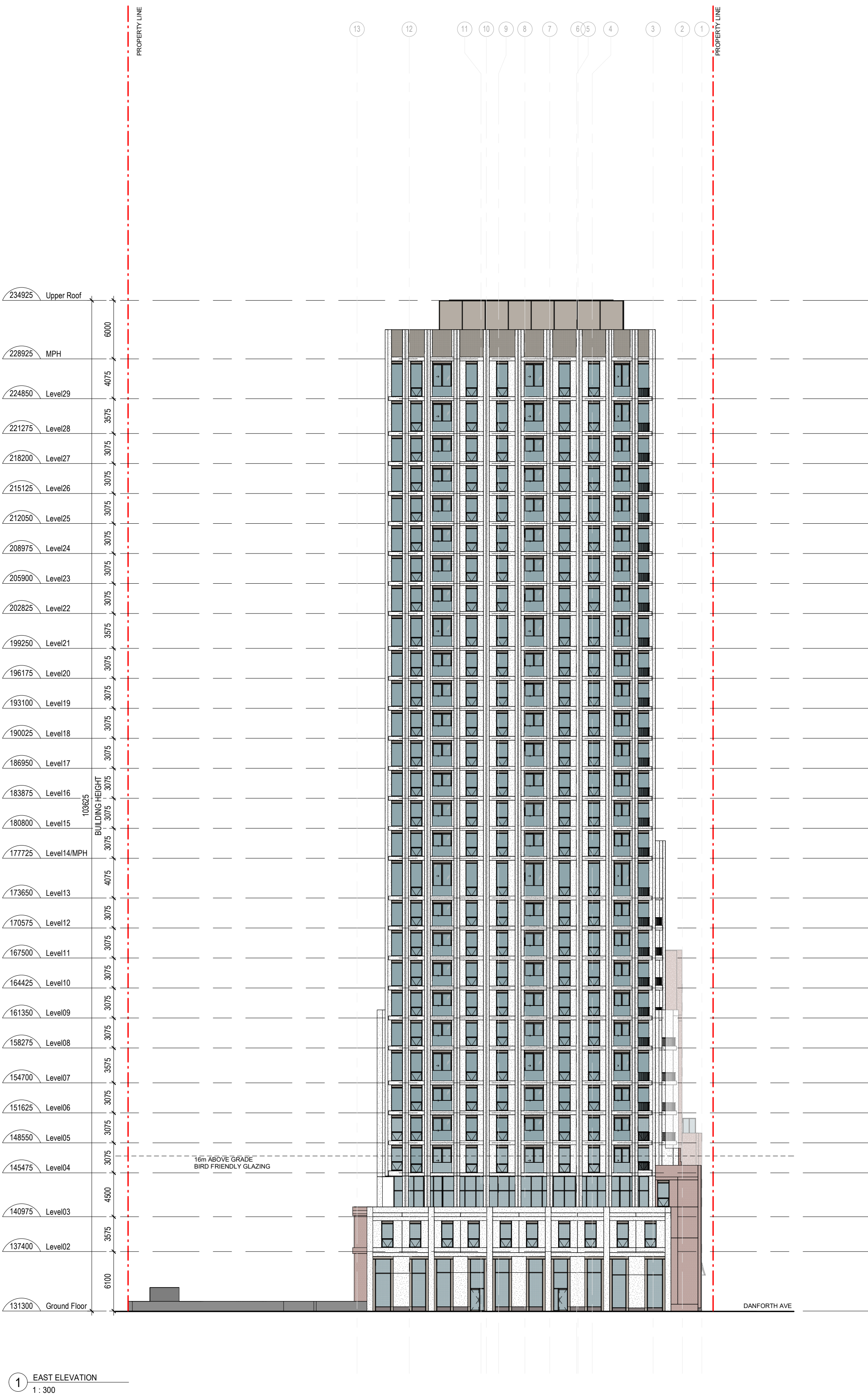
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Title:
**EAST & WEST
ELEVATIONS**

Project No. 2216 Scale As indicated

Drawing No.

A.202



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- GL-2: BIRD SAFE GLASS

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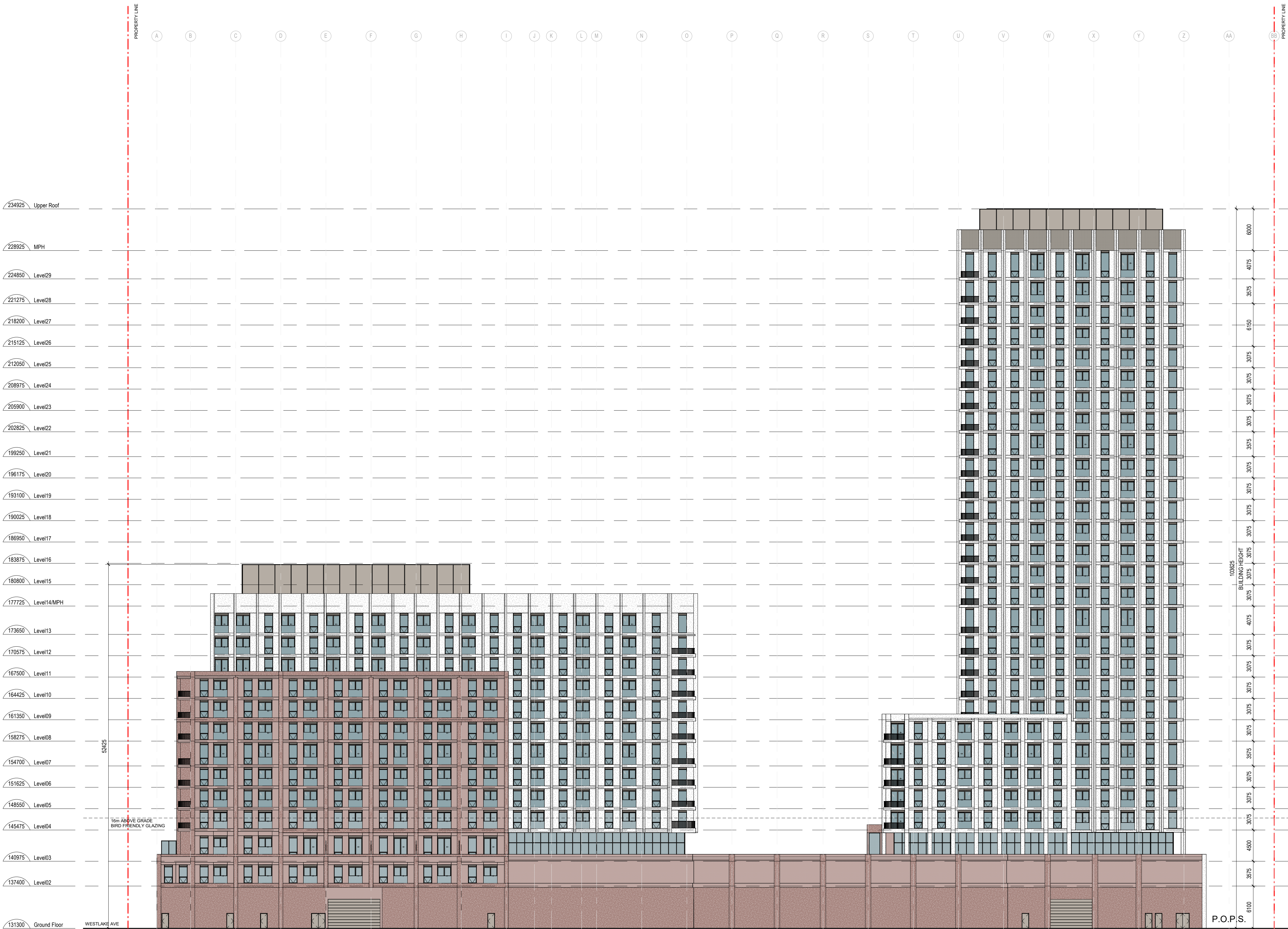
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Title:
SOUTH ELEVATION

Project No. 2216 Scale As indicated

Drawing No.

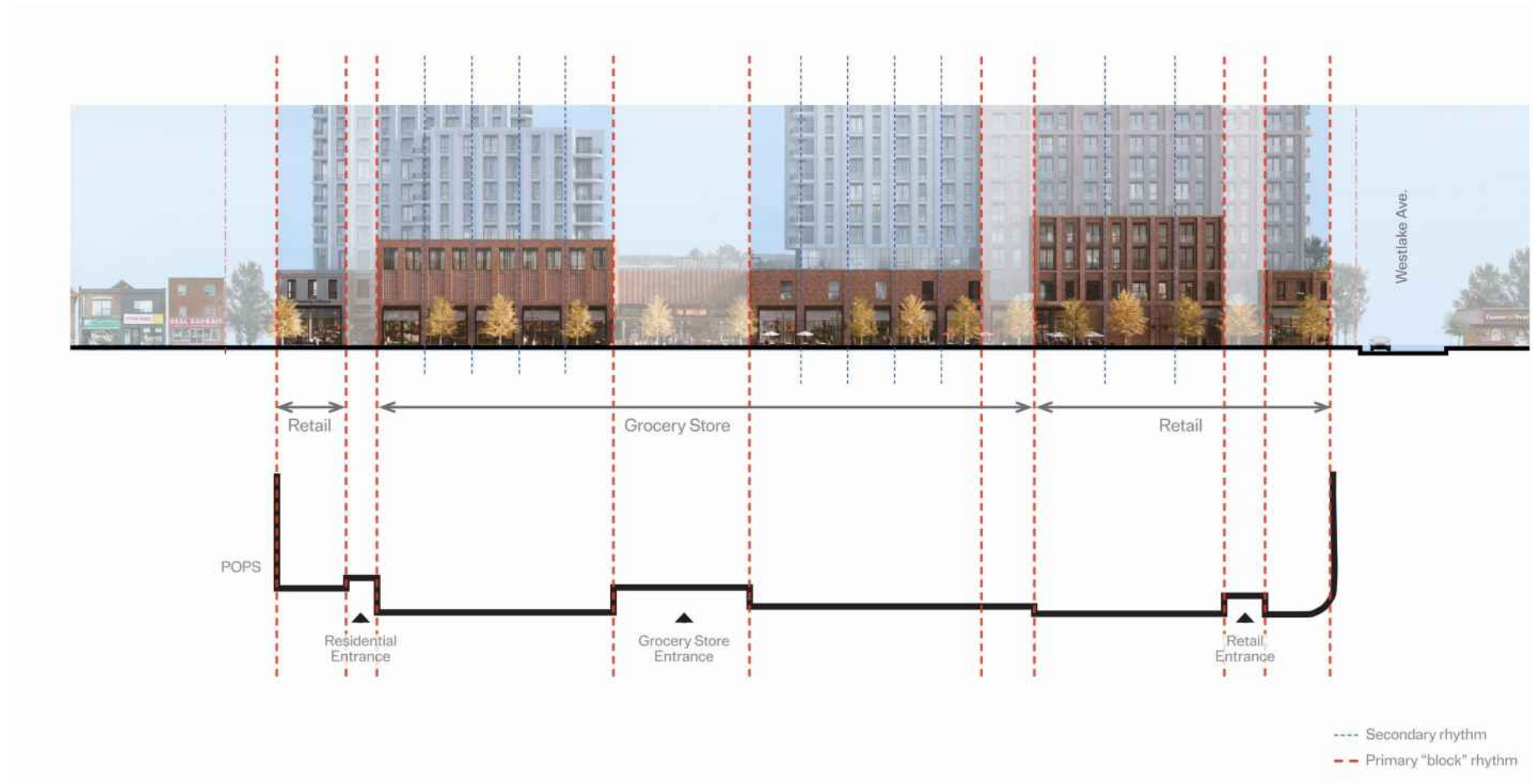
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1 SOUTH ELEVATION
1 : 300



Street Elevation on Danforth



Rhythm on Danforth



Street Elevation on Danforth



Street Elevation on Danforth

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Title:
ELEVATION STUDIES

Project No. 2216	Scale
Drawing No.	

A.204

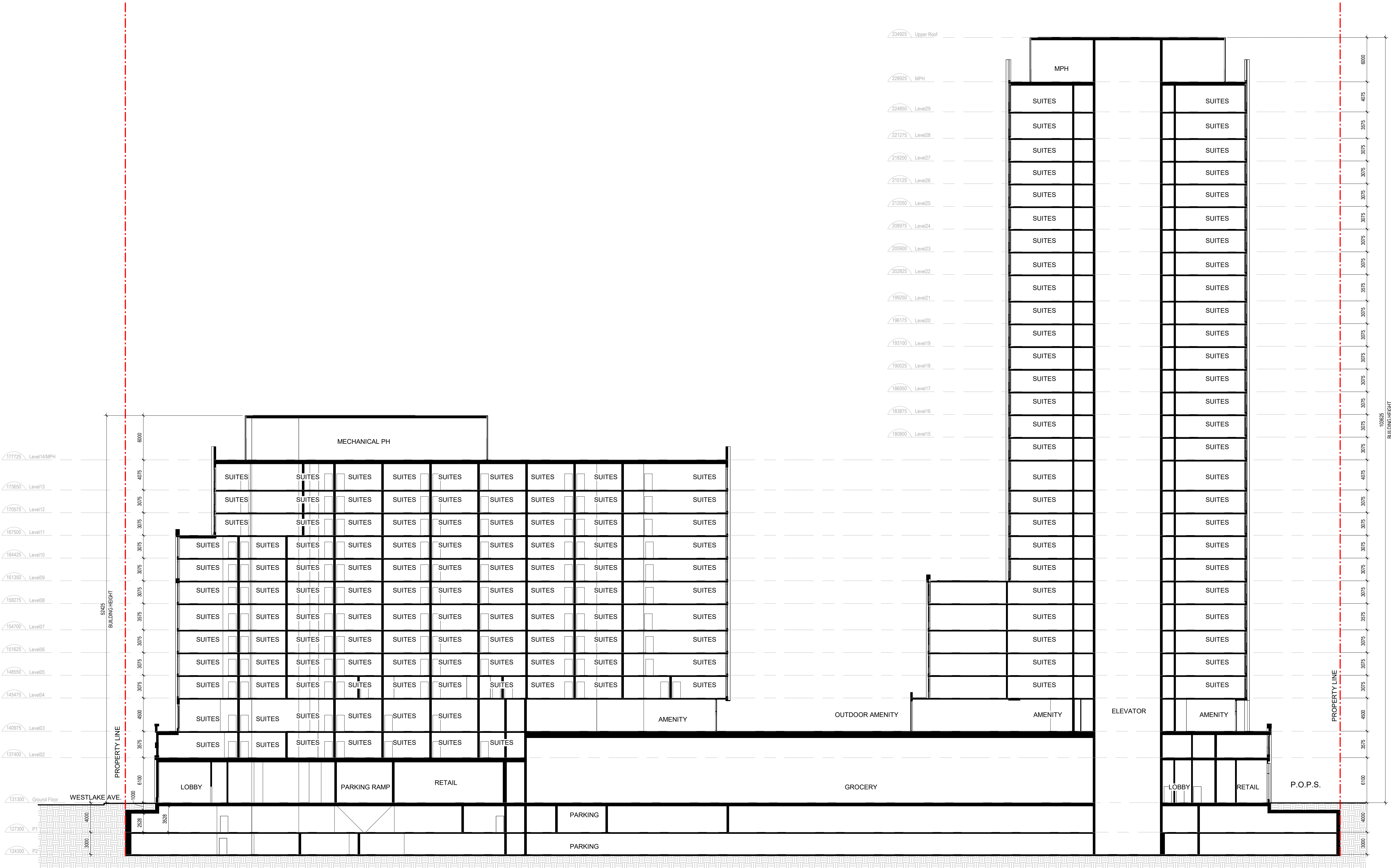
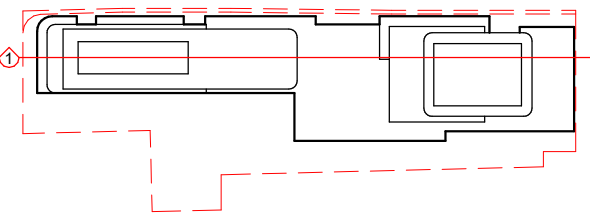
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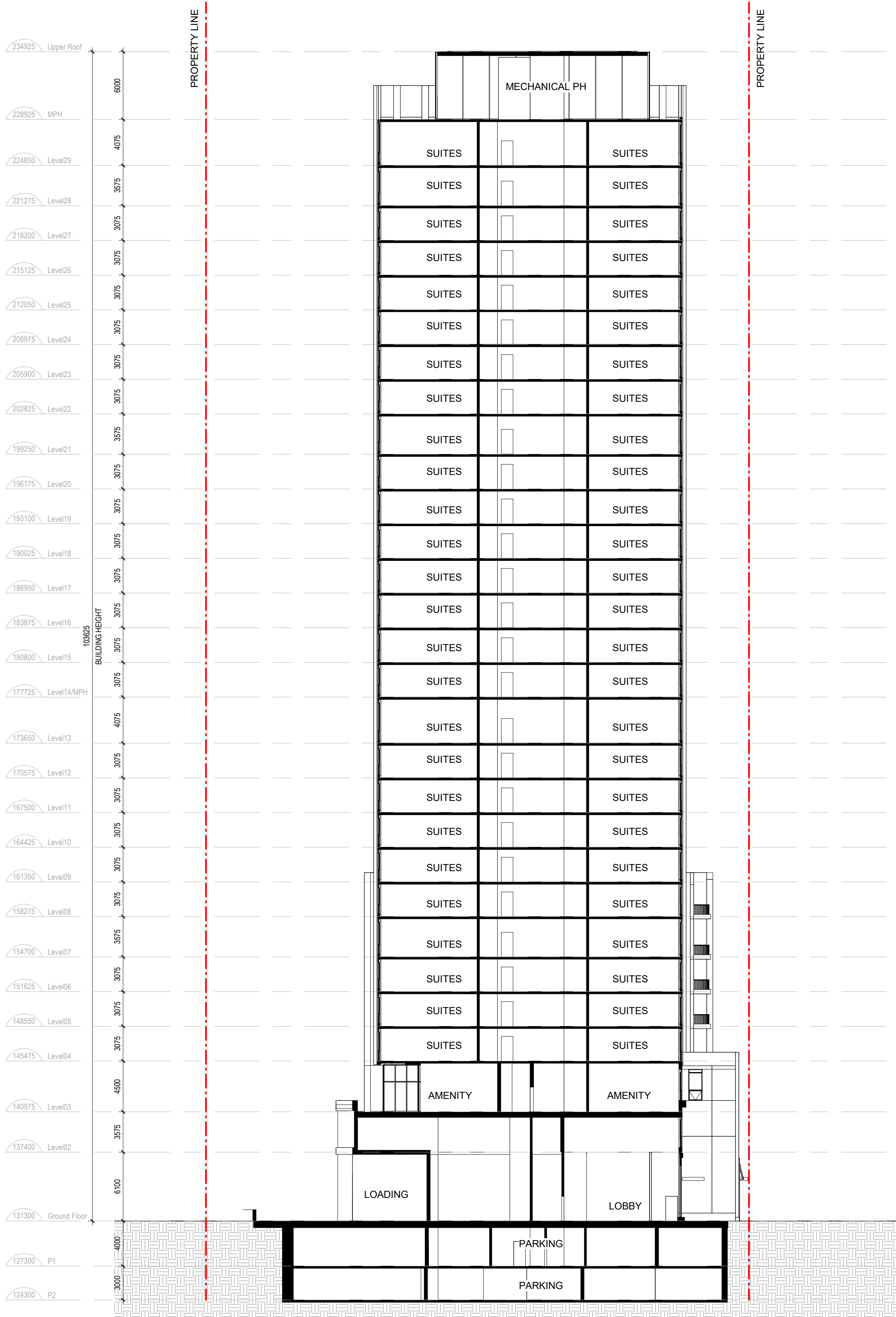
Title:
BUILDING SECTION

Project No. 2216 Scale As indicated

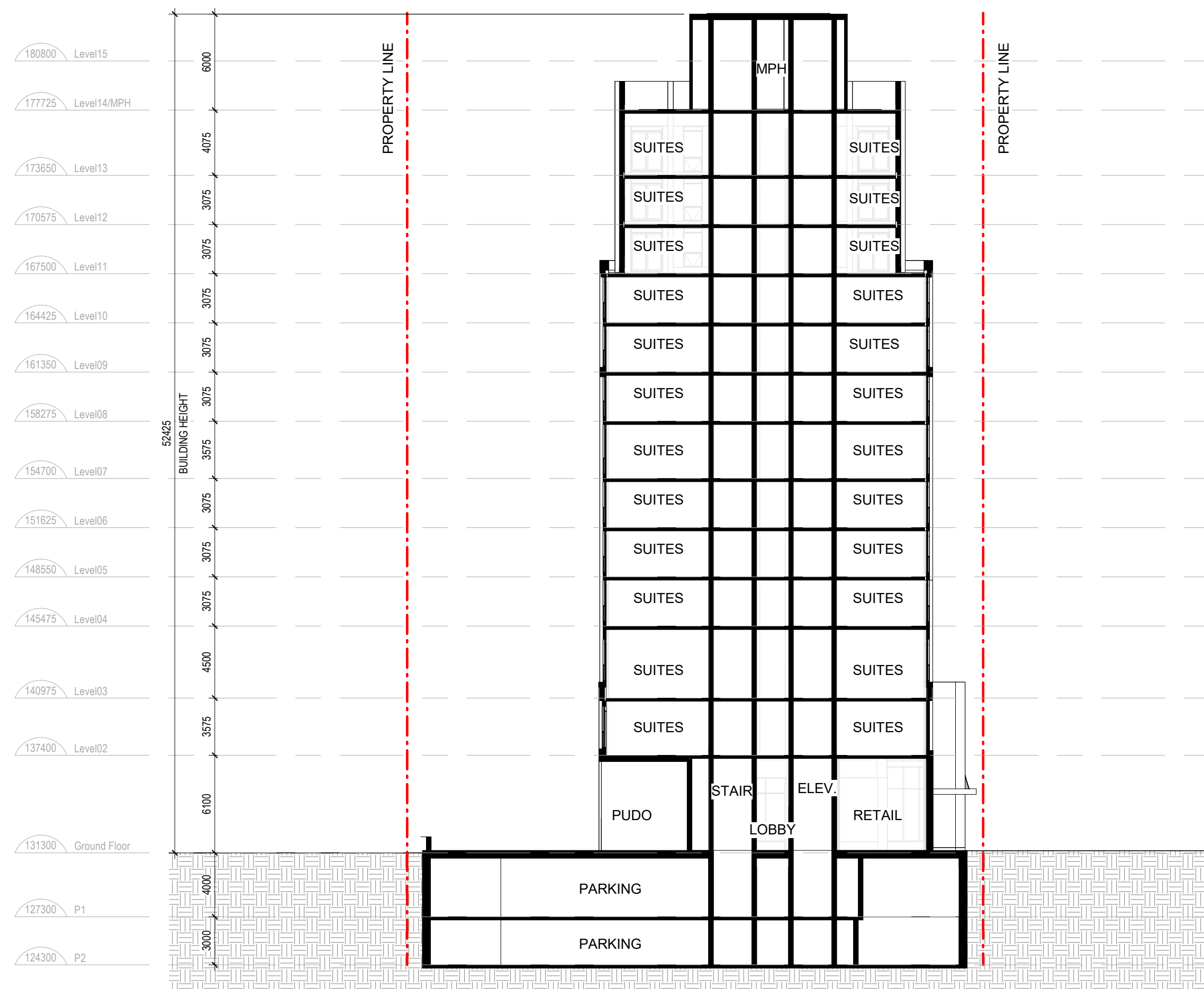
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A.301

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1 Section 1
1 : 250



2 Section 2
1 : 250

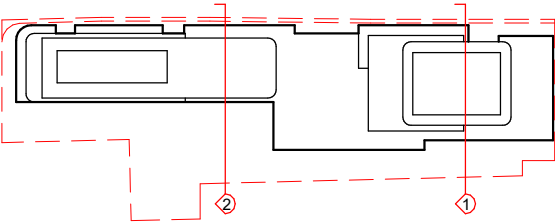
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Title:
BUILDING SECTION

Project No. 2216 Scale As indicated

Drawing No.

A.302